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ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
A.F.S.	ABOVE FINISH SURFACE	LAV.	LAVATORY
ALT.	ALTERNATE	MIN.	MINUTE
CBC	CALIF. BUILDING CODE	MFR.	MANUFACTURER
C.L.	CENTER LINE	(N)	NEW
CLG.	CEILING	N.A.	NOT APPLICABLE
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	O.C.	ON CENTER
CPT.	CARPET	O.F.C.I.	OWNER-FURNISHED, CONTRACTOR-INSTALLED
CT	CERAMIC TILE	O.F.O.I.	OWNER-FURNISHED, OWNER-INSTALLED
DN.	DOWN	OPP.	OPPOSITE
D.S.	DOWNSPOUT	P.L.	PROPERTY LINE
DTL.	DETAIL	REF.	REFRIGERATOR
(E)	EXISTING	REV.	REVERSE
ELEC.	ELECTRICAL	R.O.W.	RIGHT-OF-WAY
EQ.	EQUAL	R.T.S.	RUBBER TOP SET
E.W.	EACH WAY	SHT.	SHEET
EXT.	EXTERIOR	SIM.	SIMILAR
F.F.	FINISH FLOOR	SPECS.	SPECIFICATIONS
FIN. CLG.	FINISH CEILING	SV	SHEET VINYL
FIN. FLR.	FINISH FLOOR	T.O.	TOP OF
F.O.	FACE OF	T.O.C.	TOP OF CONCRETE
F.O.C.	FACE OF CONCRETE	T.O.P.	TOP OF PARAPET
F.O. FIN.	FACE OF FINISH	T.O.PL.	TOP OF PLATE
F.O.M.	FACE OF MASONRY	T.O. SHTG.	TOP OF SHEATHING
F.O.S.	FACE OF STUD	T.O.W.	TOP OF WALL
F.O. SHTG.	FACE OF SHEATHING	TYP.	TYPICAL
FRP	FIBER REINFORCED PLASTIC PANELS	U.N.O.	UNLESS NOTED OTHERWISE
F.S.	FINISH SURFACE	W/	WITH
GA.	GAUGE	WD	WOOD
GYP. BD.	GYPSUM BOARD		
HR.	HOUR		

PROJECT TEAM

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	WINDOW TYPE
	DOOR CONSECUTIVE NUMBER
	ROOM CONSECUTIVE NUMBER
	INDICATES DETAIL NUMBER
	SHEET WHERE DETAIL IS DRAWN
	SECTION
	SHEET WHERE DETAIL IS DRAWN
	INTERIOR ELEVATION IDENTIFICATION
	SHEET WHERE INTERIOR ELEVATION IS DRAWN
	NUMBER OF CIRCLE CORRESPONDS TO NUMBER ON NOTE LEGEND
	LETTER IN OVAL CORRESPONDS TO WALL CONSTRUCTION TYPE
	NORTH ARROW, ORIENTATION TO TRUE NORTH
	REVISION CLOUD INDICATES AREA REVISED
	WORK POINT, CONTROL, ELEVATION OR DATUM POINT

LIST OF SYMBOLS

	EARTH
	GRAVEL OR CRUSHED ROCK BASE
	ASPHALTIC CONCRETE PAVING
	CONCRETE
	MASONRY
	PLYWOOD
	WOOD, ROUGH OR DIM. LUMBER
	INSULATION
	PLASTER
	GYPSUM WALL BOARD

MATERIALS LEGEND

PAD 2

RIVERA SHOPPING CENTER VENTURA, CALIFORNIA

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA ENERGY CODE (CEC)
- 2016 CALIFORNIA GREEN BUILDING CODE (CGBC)
- 2017 CITY OF SAN BUENA MUNICIPAL CODE

GREEN BUILDING MEASURES

PROJECT SHALL COMPLY WITH ALL REQUIRED GREEN BUILDING CODE MEASURES, SEE SHEETS GB1 & GB2.

DEFERRED APPROVALS

FOR THE PRODUCTS OR SYSTEMS INDICATED BELOW THE CONTRACTOR SHALL PERFORM THE FOLLOWING:

- PREPARE SHOP DRAWINGS FOR THE PRODUCT OR SYSTEMS ADEQUATELY DESCRIBING THE WORK. PREPARE CALCULATIONS AS REQUIRED. FOR ALL ITEMS WITH CALCULATIONS, THE DRAWINGS AND CALCULATIONS SHALL BE STAMPED AND SIGNED BY A LICENSED CALIFORNIA ENGINEER OF THE APPROPRIATE DISCIPLINE.
- CONTRACTOR SHALL SUBMIT THE DRAWINGS AND CALCULATIONS TO THE ARCHITECT FOR REVIEW. CONTRACTOR SHALL RESPOND TO ANY COMMENTS THAT THE ARCHITECT HAS, AND RESUBMIT DRAWINGS AND CALCULATIONS AS REQUIRED.
- UPON APPROVAL BY THE ARCHITECT, THE CONTRACTOR SHALL SUBMIT THE DRAWINGS AND CALCULATIONS TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL. CONTRACTOR SHALL REPRODUCE THE QUANTITY OF DRAWINGS AND CALCULATIONS AS REQUIRED BY THE JURISDICTION, COMPLETE THE PERMIT APPLICATION, AND PAY PLANCHECK AND PERMIT FEES AS MAY BE APPLICABLE.
- NO INSTALLATION SHALL BE PERFORMED UNTIL SUCH TIME AS THE CONTRACTOR HAS RECEIVED APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

DEFERRED APPROVALS

- FIRE SPRINKLER SYSTEM CONFORMING TO NFPA 13 SHALL BE PROVIDED. SEPARATE SUBMITTAL AND PERMIT REQUIRED.
- STOREFRONT SYSTEM

GENERAL NOTES

STORM WATER RUNOFF SHALL NOT DISCHARGE FROM THE CONSTRUCTION SITE TO THE CITY STREETS OR MUNICIPAL STORM DRAIN SYSTEM WITHOUT TREATMENT BY A SUITABLE POLLUTION CONTROL DEVICE. STORM WATER RUNOFF DISCHARGES WITHOUT TREATMENT IS A VIOLATION OF THE CITY'S STORM WATER ORDINANCE. DISCHARGING ANY MATERIAL OTHER THAN UNCONTAMINATED STORM WATER RUNOFF TO CITY STREETS OR TO THE MUNICIPAL STORM DRAIN SYSTEM IS PROHIBITED AND IS A VIOLATION OF THE MUNICIPAL CODE.

SITE MANAGER TO CONTACT: RUBY ESPINOSA
PHONE: (949) 398-8750

FIRE DEPARTMENT

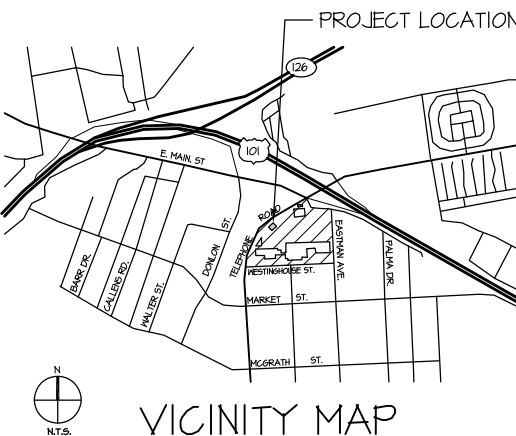
- ADDRESS NUMBERS: APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET, ROAD, ALLEY, AND WALKWAYS GIVING ACCESS TO AND WITHIN THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM) AND SHALL BE ILLUMINATED IN AN APPROVED MANNER (IF NUMBERS ARE ON THE EXTERIOR). NUMBER HEIGHT AND STROKE WIDTH SHALL BE INCREASED AS NEEDED FOR LEGIBILITY BASED ON VISIBILITY DISTANCE.
- FIRE EXTINGUISHERS: PROVIDE FIRE EXTINGUISHERS WITHIN SPECIFIED TRAVEL DISTANCE FROM ALL POINTS IN THE OCCUPANCY; THE EXTINGUISHER SHALL BE MOUNTED (ELEVATED OFF CABINET FLOOR); THE TOP OF THE EXTINGUISHER SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR; EXTINGUISHER SHALL BE PLACED IN A EASILY ACCESSIBLE LOCATIONS WHERE THEY WILL BE READILY AND IMMEDIATELY AVAILABLE FOR USE.
- FIRE SPRINKLERS: NEW SYSTEM: A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE STRUCTURE IN ACCORDANCE WITH THE RECOMMENDATIONS OF NFPA 13 AND THE REQUIREMENTS OF THE VENTURA CITY FIRE DEPARTMENT. PLANS AND PERMIT APPLICATION SHALL BE SUBMITTED WITHIN 30 DAYS OF ISSUANCE OF THE BUILDING PERMIT.
- REQUIRED VENTURA CITY FD INSPECTIONS: FOR ALL INSPECTIONS, CALL 805-339-4333. FIRE DEPARTMENT INSPECTIONS FOR THIS PROJECT ARE:
 - UNDERGROUND FIRE LINE ROUGH/FLUSH
 - OVERHEAD FIRE SPRINKLER ROUGH
 - FIRE SPRINKLER FINAL

CODE SUMMARY

PROJECT SUMMARY:
THE SCOPE OF THE PROJECT CONSISTS OF A 5510 S.F. SHELL BUILDING. TENANT IMPROVEMENTS WILL BE DONE UNDER SEPARATE PERMIT.

APN#:	084-0-072-295
LOCAL JURISDICTIONS:	CITY OF VENTURA CITY OF VENTURA COUNTY OF VENTURA
BUILDING OFFICIAL:	
FIRE OFFICIAL:	
FLOOD CONTROL :	
OCCUPANCY:	"NO OCCUPANCY" B-SHELL BUILDING VB (CBC 602.9)
CONSTRUCTION TYPE:	
FIRE SPRINKLERS PROVIDED:	YES
ROOF:	CLASS 'A' ROOF REQUIRED CLASS 'A' ROOF PROVIDED
SITE AREA:	12,936 S.F.
BUILDING AREA:	5510 S.F.
NUMBER OF STORIES:	ONE STORY
COMMON PATH OF TRAVEL:	ALLOWABLE = 100', ACTUAL = NOT APPLICABLE SHELL BUILDING
NUMBER OF STORIES:	ONE STORY
FIRE SEPARATION DISTANCE:	ALL SIDES >30'

BUILDING ENVELOPE COMPONENT ENERGY VALUES:	
EXTERIOR WALLS:	2x6 WOOD STUD, R-19 INSULATION
ROOF:	R-19 INSULATION AT ROOF LEVEL.
GLAZING:	CLEAR-GLAZED, LOW-E CLEAR GLAZING 0.28 "U" 0.39 SHGC PPG SOLARBLAN 60 (2)CLEAR+CLEAR



INDEX OF DRAWINGS

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A8.1	FRAMING DETAILS
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A8.3	DETAILS
A8.4	DETAILS
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PC-1	PLANNING CONDITIONS
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PC-3	PLANNING CONDITIONS

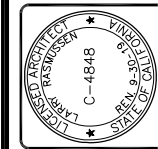
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M3.02	ENERGY ANALYSIS FORMS
M3.03	ENERGY ANALYSIS FORMS
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E1.1	GENERAL ELECTRICAL SPECIFICATIONS, DETAILS
E1.2	OUTDOOR TITLE 24 DOCUMENTATION
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L2.10	IRRIGATION DETAILS
L2.11	IRRIGATION DETAILS
L3.00	PLANTING PLAN
L3.10	PLANTING DETAILS

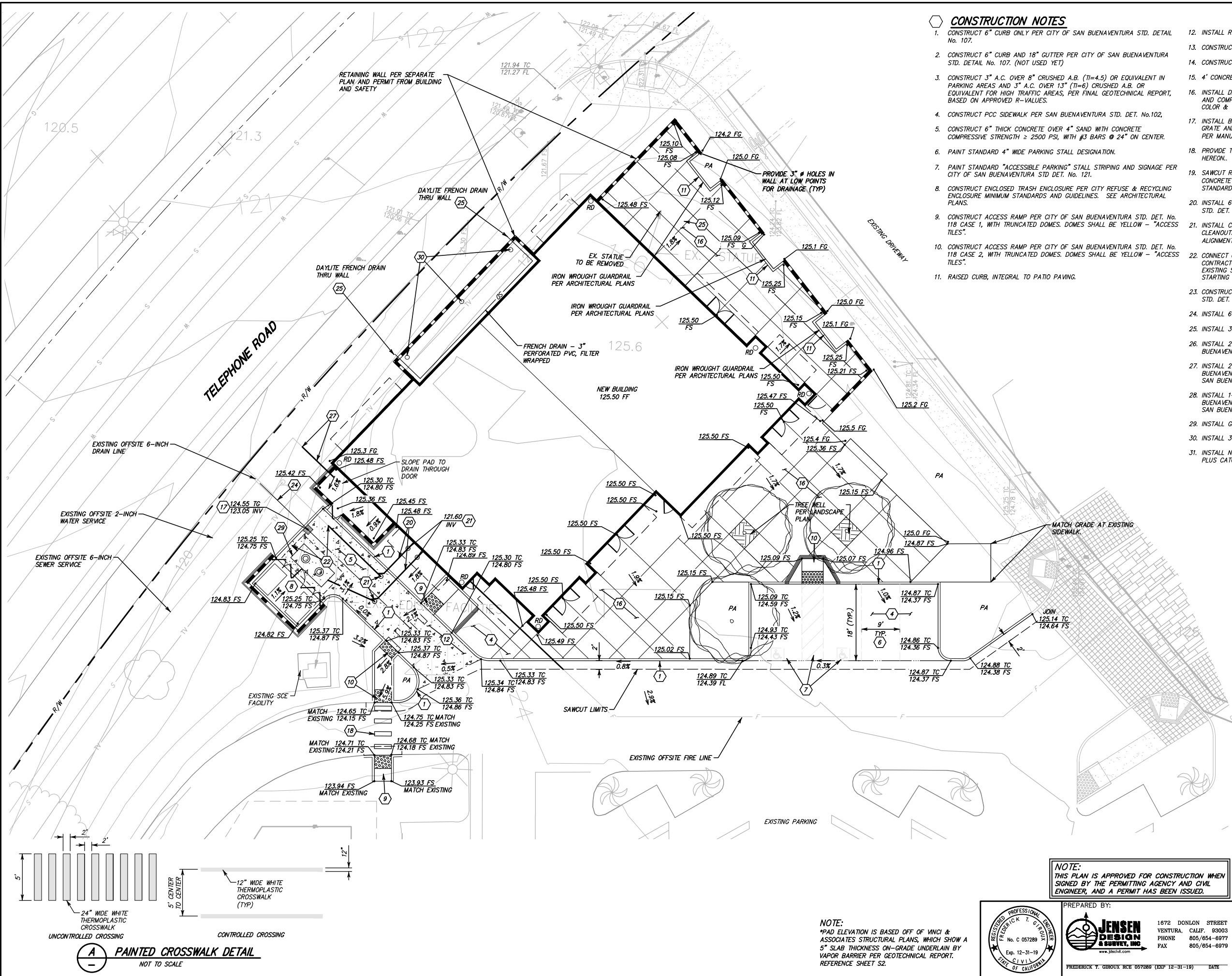
RASMUSSEN & ASSOCIATES
Architecture
Planning
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21 S. California Street
Fourth Floor
Ventura, California 93001
(805) 648-1234



Sheet	TITLE SHEET
Title	
Revisions	R&A No: A161304
Date:	10/20/17
Drawn:	R&A
Checked:	
Consult:	

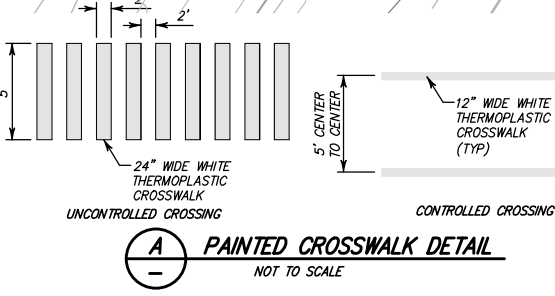
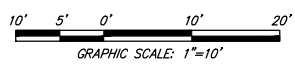
RIVERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

Sheet No.	T
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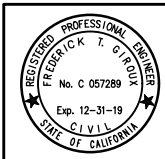
CONSTRUCTION NOTES

- CONSTRUCT 6" CURB ONLY PER CITY OF SAN BUENAVENTURA STD. DETAIL No. 107.
- CONSTRUCT 6" CURB AND 18" GUTTER PER CITY OF SAN BUENAVENTURA STD. DETAIL No. 107. (NOT USED YET)
- CONSTRUCT 3" A.C. OVER 8" CRUSHED A.B. (T₁=4.5) OR EQUIVALENT IN PARKING AREAS AND 3" A.C. OVER 13" (T₁=6) CRUSHED A.B. OR EQUIVALENT FOR HIGH TRAFFIC AREAS, PER FINAL GEOTECHNICAL REPORT, BASED ON APPROVED R-VALUES.
- CONSTRUCT PCC SIDEWALK PER SAN BUENAVENTURA STD. DET. No.102.
- CONSTRUCT 6" THICK CONCRETE OVER 4" SAND WITH CONCRETE COMPRESSIVE STRENGTH ≥ 2500 PSI, WITH #3 BARS @ 24" ON CENTER.
- PAINT STANDARD 4" WIDE PARKING STALL DESIGNATION.
- PAINT STANDARD "ACCESSIBLE PARKING" STALL STRIPING AND SIGNAGE PER CITY OF SAN BUENAVENTURA STD DET. No. 121.
- CONSTRUCT ENCLOSED TRASH ENCLOSURE PER CITY REFUSE & RECYCLING ENCLOSURE MINIMUM STANDARDS AND GUIDELINES. SEE ARCHITECTURAL PLANS.
- CONSTRUCT ACCESS RAMP PER CITY OF SAN BUENAVENTURA STD. DET. No. 118 CASE 1, WITH TRUNCATED DOMES. DOMES SHALL BE YELLOW - "ACCESS TILES".
- CONSTRUCT ACCESS RAMP PER CITY OF SAN BUENAVENTURA STD. DET. No. 118 CASE 2, WITH TRUNCATED DOMES. DOMES SHALL BE YELLOW - "ACCESS TILES".
- RAISED CURB, INTEGRAL TO PATIO PAVING.
- INSTALL R100A (CA) "NO PARKING" STRIPING & SIGN PER CITY STANDARD.
- CONSTRUCT 3' WIDE CONCRETE RIBBON GUTTER TO GRADES SHOWN.
- CONSTRUCT 6' WIDE CONCRETE RIBBON GUTTER TO GRADES SHOWN.
- 4' CONCRETE WHEEL STOP, CENTERED TO BE 2' FROM WALL FACE.
- INSTALL DECORATIVE PAVING PER ARCHITECT'S PLANS. AGGREGATE BASE AND COMPACTION PER FINAL SOILS REPORT. DECORATIVE SPECIFICATIONS, COLOR & TEXTURE PER LANDSCAPE PLANS.
- INSTALL BROOKS PRODUCT CB1818 DROP INLET WITH TRAFFIC RATED STEEL GRATE AND KRISTAR FLOGARD PLUS CATCH BASIN INSERT FILTER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE THERMOPLASTIC "UNCONTROLLED" CROSSWALK PER DETAIL "A" HEREON.
- SAWCUT REMOVE AND REPLACE IN KIND CURB/ CURB AND GUTTER, CONCRETE SIDEWALK (TO NEAREST SCORE LINE) & ASPHALT PER CITY STANDARDS.
- INSTALL 6" PVC (SDR-35) SEWER LINE PER CITY OF SAN BUENAVENTURA STD. DET. No. 200 AND 113. S=0.02 (MIN)
- INSTALL CLEAN OUT PER CITY OF SAN BUENAVENTURA STD. No. 203. CLEANOUTS SHALL BE INSTALLED EVERY 100' AND AT ALL CHANGES IN ALIGNMENT (OVER 45°) OR GRADE.
- CONNECT 6" PVC SEWER LATERAL TO EXISTING 6" SEWER LATERAL. CONTRACTOR TO POTHOLE AND VERIFY LOCATION, DEPTH, AND SIZE OF EXISTING SEWER LATERAL AND CONTACT PROJECT CIVIL ENGINEER PRIOR TO STARTING WORK.
- CONSTRUCT SIDEWALK DRAIN "TYPE A" PER CITY OF SAN BUENAVENTURA STD. DET. No. 310.
- INSTALL 6" SCH. 40 PVC PIPE OR APPROVED EQUAL DAYLITE THRU CURB.
- INSTALL 3" SCH. 40 PVC PIPE OR APPROVED EQUAL.
- INSTALL 2" WATER SERVICE CONNECTION WITH 2" METER PER CITY OF SAN BUENAVENTURA STD. DET. No. 009.
- INSTALL 2" SCH. 40 PVC WATER SERVICE 36" DEEP PER CITY OF SAN BUENAVENTURA STD. DET. No. 001. TRENCH AND BACKFILL PER CITY OF SAN BUENAVENTURA STD. DET. No. 112 AND 113.
- INSTALL 1-1/2" SCH. 40 PVC WATER SERVICE 36" DEEP PER CITY OF SAN BUENAVENTURA STD. DET. No. 001. TRENCH AND BACKFILL PER CITY OF SAN BUENAVENTURA STD. DET. No. 112 AND 113.
- INSTALL GREASE INTERCEPTOR PER PLUMBING PLANS.
- INSTALL 3-INCH AREA DRAIN, DAYLITE THRU WALL.
- INSTALL NDS 12" CATCH BASIN WITH BRASS GRATE AND KRISTAR FLOGARD PLUS CATCH BASIN INSERT, OR APPROVED EQUAL.



NOTE:
THIS PLAN IS APPROVED FOR CONSTRUCTION WHEN SIGNED BY THE PERMITTING AGENCY AND CIVIL ENGINEER, AND A PERMIT HAS BEEN ISSUED.

NOTE:
*PAD ELEVATION IS BASED OFF OF VINCI & ASSOCIATES STRUCTURAL PLANS, WHICH SHOW A 5" SLAB THICKNESS ON-GRADE UNDERLAIN BY VAPOR BARRIER PER GEOTECHNICAL REPORT. REFERENCE SHEET S2.

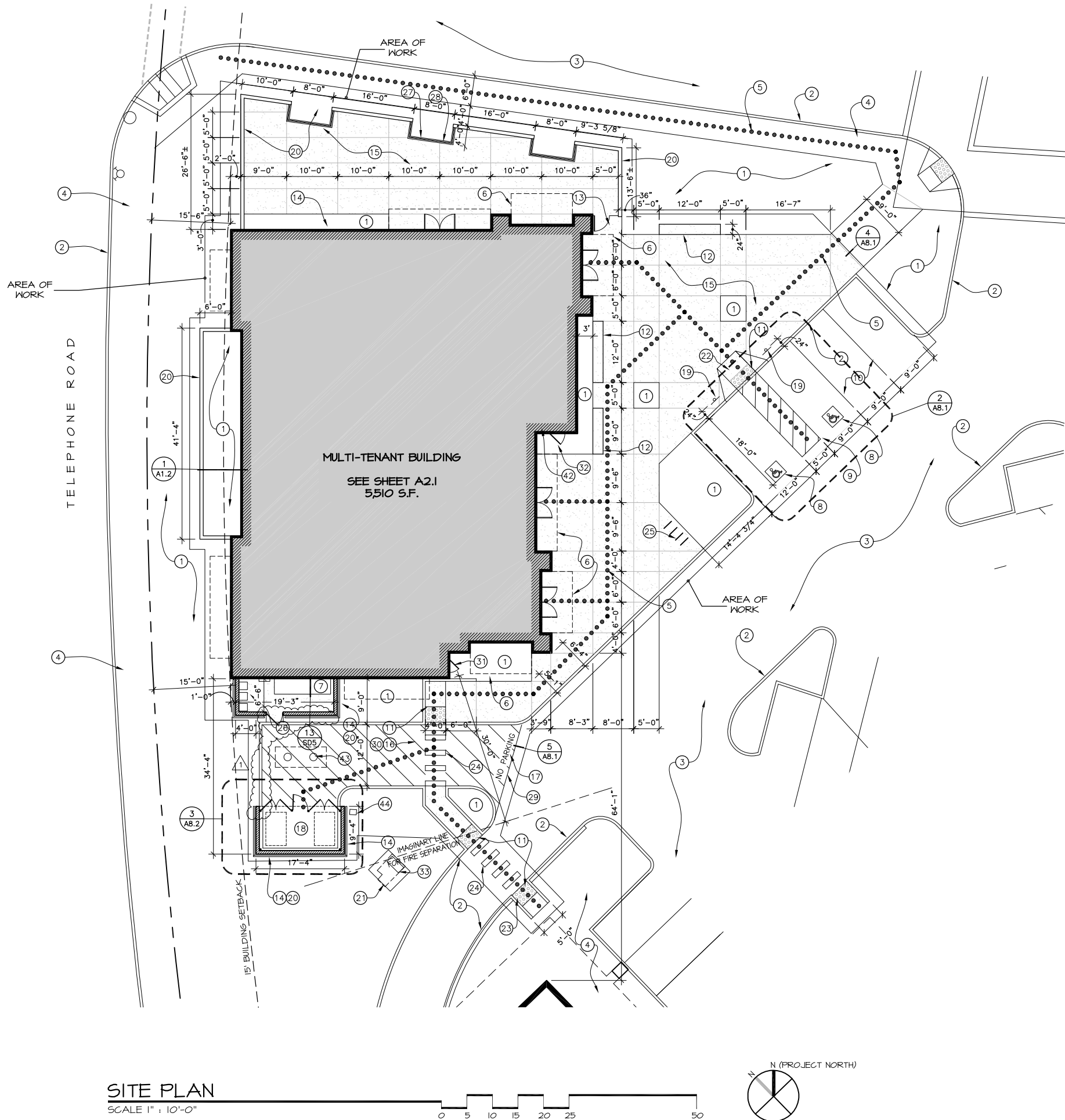


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FREDERICK T. GIROUX REC 057288 (EXP 12-31-18) DATE

REV.	DESCRIPTION	CK'D	APP.	DATE
PUBLIC WORKS DEPARTMENT LAND DEVELOPMENT DIVISION				
CITY OF SAN BUENAVENTURA				
PAD 2 BUILDING				
GRADING IMPROVEMENT PLAN				
RIVIERA SHOPPING CENTER				
DRN. BY: RQ	DES. BY: FTG	CK'D BY: FTG		
62381				
LAND DEVELOPMENT ENGINEER	R.C.E. NUMBER	DATE		
59254				
CITY ENGINEER	R.C.E. NUMBER	DATE		
SID # XX-XXX	SHEET 6 OF 10	FILE NO. 2017-D-xxxx		

DATE: 10/16/2018 10:55:00 AM

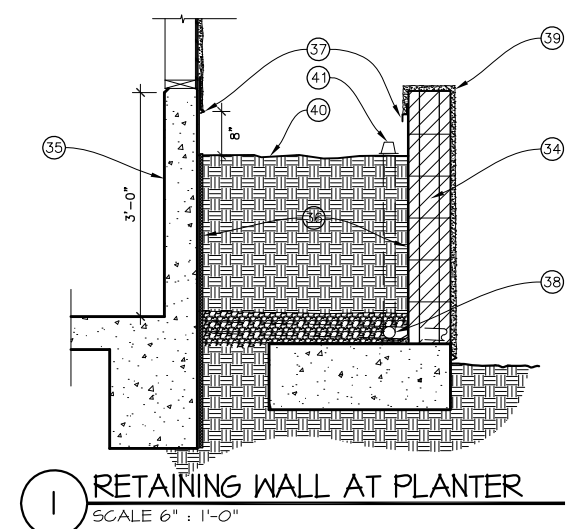
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SITE PLAN
SCALE 1" = 10'-0"

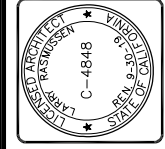
NOTE LEGEND

- 1 LANDSCAPING, SEE LANDSCAPE DRAWINGS
- 2 EXISTING CURB TO REMAIN
- 3 EXISTING ASPHALT PARKING LOT TO REMAIN
- 4 EXISTING CONCRETE SIDEWALK
- 5 DOTTED LINE INDICATES ACCESSIBLE ROUTE FROM PUBLIC WAY AND PARKING. SLOPES NOT TO EXCEED 4.99% WITH 2% CROSS SLOPE EXCEPT AT RAMPS AS NOTED.
- 6 AWNING ABOVE. SEE FLOOR PLAN.
- 7 ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
- 8 3'-0" SQUARE INTERNATIONAL HANDICAP SYMBOL. PAINT WHITE STENCIL SYMBOL OVER BLUE PAINTED BACKGROUND.
- 9 PAINTED STRIPED HANDICAP LOADING/UNLOADING AISLE AS SHOWN. COLOR SHALL BE BLUE.
- 10 PAINTED PARKING LINES. COLOR SHALL BE WHITE. TWO COATS MINIMUM.
- 11 36" WIDE x WIDTH OF WALK DETECTABLE WARNING TRUNCATED DOMES. ARMOR-TILE "WET SET" PANELS OR APPROVED EQUIVALENT. COLOR "FEDERAL YELLOW" #33538.
- 12 CONCRETE BENCH, SEE LANDSCAPE DRAWINGS.
- 13 3'-6" HIGH x 3'-0" WIDE, WROUGHT IRON GATE, PAINTED TO MATCH WALL COLOR. SEE DOOR SCHEDULE.
- 14 3" THICK "GREENSCREEN" PANEL, TYPICAL. SEE DETAILS 8,9,10,11/AB.1.
- 15 CONCRETE PAVING W/ BROOM FINISH, SCORE LINES AS SHOWN. SLOPE 1/4" FOOT PER CIVIL DRAWINGS. SEE DETAIL 3/AB.1 AND CIVIL DRAWINGS.
- 16 PAINTED STRIPED LOADING/UNLOADING AISLE AS SHOWN. COLOR SHALL BE YELLOW.
- 17 "NO PARKING" PAINTED IN YELLOW, 12" HIGH LETTERS.
- 18 TRASH ENCLOSURE, SEE SHEET AB.2
- 19 ACCESSIBLE STALL PARKING SIGN, SEE DETAIL 1/AB.1.
- 20 PLASTERED CONCRETE BLOCK SITE WALL
- 21 EXISTING SCE TRANSFORMER TO BE REMOVED AND REPLACED.
- 22 CURB RAMP SEE 12/AB.1 AND CIVIL DRAWINGS.
- 23 REMOVE 5'-0" WIDE SECTION OF PATIO WALL TO ALLOW NEW CURB RAMP. PATCH AND REPAIR WALL AS NEEDED. SEE CIVIL DRAWINGS.
- 24 2" WIDE WHITE PAINTED STRIPES AT 4'-0" O.C. SEE CIVIL DRAWINGS, NOTE 18.
- 25 4 BIKE RACKS, SEE DETAIL 6/AB.1.
- 26 LOCATION OF GAS METERS, SEE PLUMBING DRAWINGS.
- 27 6" HIGH CURB.
- 28 3' HIGH WROUGHT IRON FENCE, PAINTED.
- 29 EDGE OF AC PAVING/CONCRETE.
- 30 CONCRETE PAVING AT LOADING ZONE, SEE CIVIL DRAWINGS.
- 31 FIRE RISER DOOR.
- 32 ROOF ACCESS DOOR.
- 33 TRANSFORMER, SEE ELECTRICAL DRAWINGS.
- 34 MASONRY RETAINING WALL, SEE DETAIL SD.5.
- 35 CONCRETE BUILDING WALL.
- 36 WATERPROOF MEMBRANE WITH DRAINAGE/ PROTECTION BOARD.
- 37 METAL FLASHING OVER TOP OF WATER MEMBRANE.
- 38 PERFORATED PIPE IN GRAVEL POCKET WITH GEOTECH FABRIC COVER. PIPE TO DRAIN THROUGH WALL TO DAYLIGHT.
- 39 1/2" PLASTER FINISH OVER CONCRETE BLOCK.
- 40 PLANTER BACKFILL, SLOPE AWAY FROM BUILDING.
- 41 SURFACE DRAIN, DAY LIGHT AT BOTTOM OF WALL, SEPARATE FROM FRENCH DRAIN. SEE CIVIL DRAWINGS.
- 42 LOCATION OF FIRE CONTROL PANEL.
- 43 LOCATION OF GREASE TRAP LIDS. LIDS TO BE FLUSH WITH ADJACENT FINISH SURFACE. SEE DETAIL 4/P2.02.
- 44 LOCATION OF IRRIGATION CONTROL. SEE LANDSCAPE DRAWINGS.



1 RETAINING WALL AT PLANTER
SCALE 6" = 1'-0"

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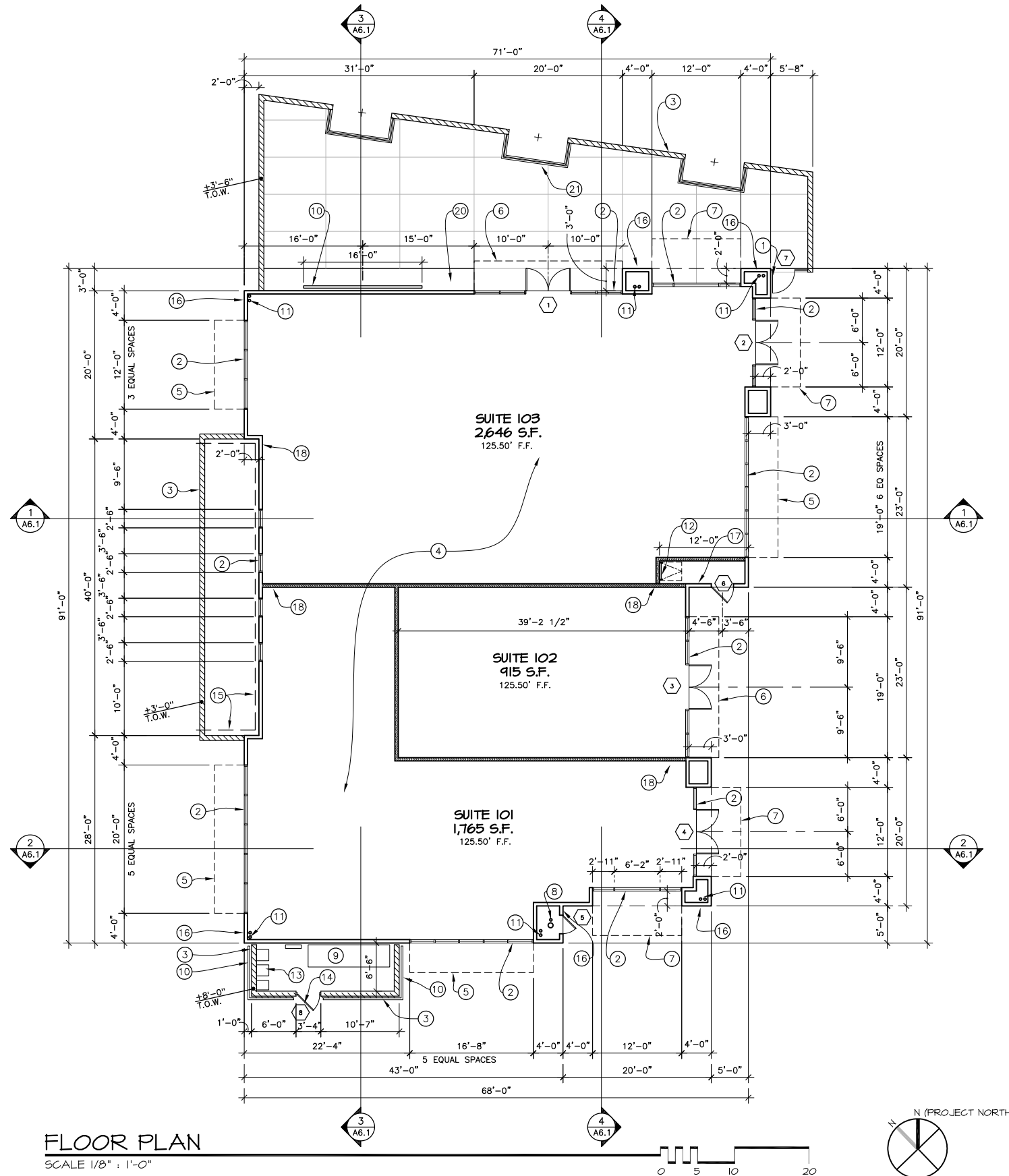
SITE PLAN	
Revisions	R&A No. / Date
1	1/16/18 P.C.CORR. / 10/20/17
2	Drawn: C.J.H.
3	Checked: []
4	Consult. No: []

**RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA**

Sheet No.
A1.2

21 S. California Street
Fourth Floor
Ventura, California 93001
(805) 648-1234

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FLOOR PLAN
SCALE 1/8" = 1'-0"

NOTE LEGEND

- 1 3'-0" WIDE x 3'-6" HIGH WROUGHT IRON GATE. PAINT TO MATCH ADJACENT PATIO WALL.
- 2 2" x 4 1/2" ALUMINUM STOREFRONT, KAWNEER; CLASSIC BRONZE. CENTER SET CLEAR GLAZING. SEE ELEVATIONS.
- 3 PLASTERED CONCRETE BLOCK SITE WALL. SEE STRUCTURAL SDS AND A3.1.
- 4 CONCRETE FLOOR SLAB, SEE STRUCTURAL DRAWINGS.
- 5 SLOPE, LOUVERED AWNING BY BEAGLE ONE, INC. SEE DETAIL 9/AB.3 AND 5A/SD5 FOR ATTACHMENT DETAIL.
- 6 SLOPED, SOLID AWNING BY BEAGLE ONE, INC. WITH ROLL FORMED ALUMINUM DECK. SEE DETAIL 9/AB.3 AND STRUCTURAL DRAWINGS FOR ATTACHMENT DETAIL.
- 7 SOLID CANOPY WITH 12" DEEP SMOOTH FASCIA AND ROLL FORMED ALUMINUM DECK, BY BEAGLE ONE, INC. SEE DETAIL 8/AB.3 AND STRUCTURAL DRAWINGS FOR ATTACHMENT DETAIL.
- 8 FIRE SPRINKLER RISERS. SEE PLUMBING DRAWINGS.
- 9 ELECTRICAL EQUIPMENT. SEE SITE PLAN AND ELECTRICAL DRAWINGS.
- 10 3" THICK "GREENSCREEN" PANEL. SEE DETAILS 8,9,10,11/AB.1.
- 11 ROOF DRAIN & OVER FLOW DRAIN, SEE PLUMBING DRAWINGS, P0.01.
- 12 ROOF ACCESS HATCH & LADDER BILCO 3'-0" x 2'-6" SEE DETAIL 6/AB.3.
- 13 GAS METER LOCATIONS, SEE PLUMBING DRAWINGS.
- 14 WATER RESISTANT 3'-0" WIDE x 6'-0" HIGH HOLLOW METAL LOUVERED DOOR AND FRAME. INSTALL FLUSH CAP AT TOP. INSTALL PANIC HARDWARE ON PUSH SIDE. DOOR TO HAVE 10" MIN. SMOOTH SURFACE ON PUSH SIDE.
- 15 4" PVC PERFORATED DRAIN PIPE, SEE DETAIL 1/AI.2.
- 16 OVERFLOW DRAIN TO DAYLIGHT, SEE P0.01.
- 17 LOCATION OF FIRE ALARM CONTROL PANEL.
- 18 WALL MOUNTED FIRE EXTINGUISHER MOUNTED AT 48" MAX. FROM FINISH FLOOR.
- 19 PROVIDE WEEPS AT 4' O.C. AT TOP OF FOOTING.
- 20 LANDSCAPE AREA.
- 21 6" HIGH CONCRETE CURB WITH WROUGHT IRON RAIL TO 42" A.F.F. TO BE PAINTED.

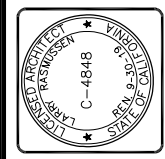
GENERAL NOTES

- A. WALLS ARE DIMENSIONED TO FACE OF STUD, U.N.O
- B. LOCATE DOORS SO THAT DOUBLE JAMB STUDS AT HINGE SIDE ARE TIGHT TO ADJACENT WALL FRAMING; TYPICAL WHERE ADJACENT WALL OCCURS, U.N.O.
- C. SLAB/CURB TO ALIGN WITH OUTSIDE FACE OF PLYWOOD SHEATHING AND NOT FACE OF STUD.

WALL LEGEND SEE EXTERIOR ELEVATION FOR FINISHES

- EXTERIOR 2x6 WOOD STUDS AT 16" O.C. 1/2" PLYWOOD PLUS FINISH AT EXTERIOR. NO GYPSUM BOARD FINISH AT INTERIOR. PROVIDED R-19 BATT INSULATION.
- INTERIOR FULL HEIGHT 2x6 WOOD STUDS AT 16" O.C., 5/8" TYPE X GYPSUM BOARD ON ONE SIDE. PROVIDE R-19 BATT INSULATION.

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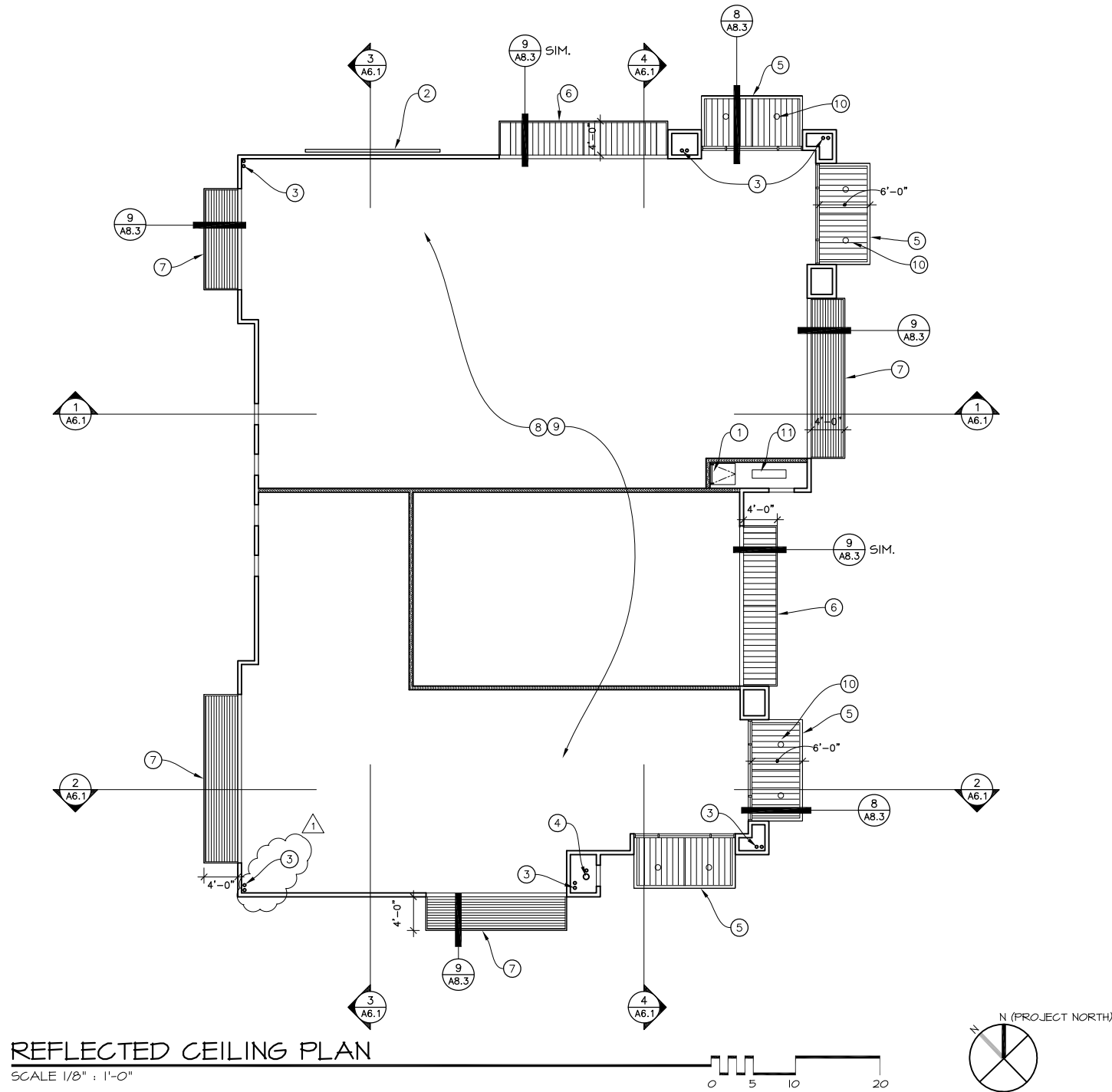


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**RIVIERA SHOPPING CENTER
PAD 2
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VENTURA, CALIFORNIA**

Sheet No.
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NOTE LEGEND

- 1 ROOF ACCESS HATCH AND LADDER, BILCO 3'-0" x 2'-6". SEE DETAIL 6/A8.3
- 2 3" THICK "GREEN SCREEN" PANEL, SEE DETAIL 8,9,10,11/A8.1
- 3 ROOF DRAIN AND OVER FLOW DRAIN, SEE PLUMBING DRAWINGS.
- 4 FIRE RISER, SEE PLUMBING DRAWINGS.
- 5 SOLID CANOPY WITH 12" DEEP SMOOTH FASCIA AND ROLL FORMED ALUMINUM DECK, SEE DETAILS 8/A8.3 AND 5A/SD5. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT.
- 6 SLOPED, SOLID AWNING WITH ROLL FORMED ALUMINUM DECK. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT. SEE DETAILS 9/A8.3 AND 5A/SD5.
- 7 SLOPED, LOUVERED AWNING. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT. SEE DETAILS 9/A8.3 AND 5A/SD5.
- 8 EXPOSED ROOF STRUCTURE ABOVE, SEE STRUCTURAL DRAWINGS.
- 9 FOIL BACKED INSULATION, PROVIDE R-19.
- 10 LOCATION OF LIGHTS MOUNTED UNDER CANOPY, SEE ELECTRICAL DRAWINGS.
- 11 1'x4' LED LIGHT FIXTURE, SEE 3/E3.0.

WALL LEGEND SEE EXTERIOR ELEVATION FOR FINISHES

- EXTERIOR 2x6 WOOD STUDS AT 16" O.C. 1/2" PLYWOOD PLUS FINISH AT EXTERIOR. NO GYPSUM BOARD FINISH AT INTERIOR. PROVIDED R-19 BATT INSULATION.
- INTERIOR FULL HEIGHT 2x6 WOOD STUDS AT 16" O.C., 5/8" TYPE X GYPSUM BOARD ON ONE SIDE. PROVIDE R-19 BATT INSULATION.

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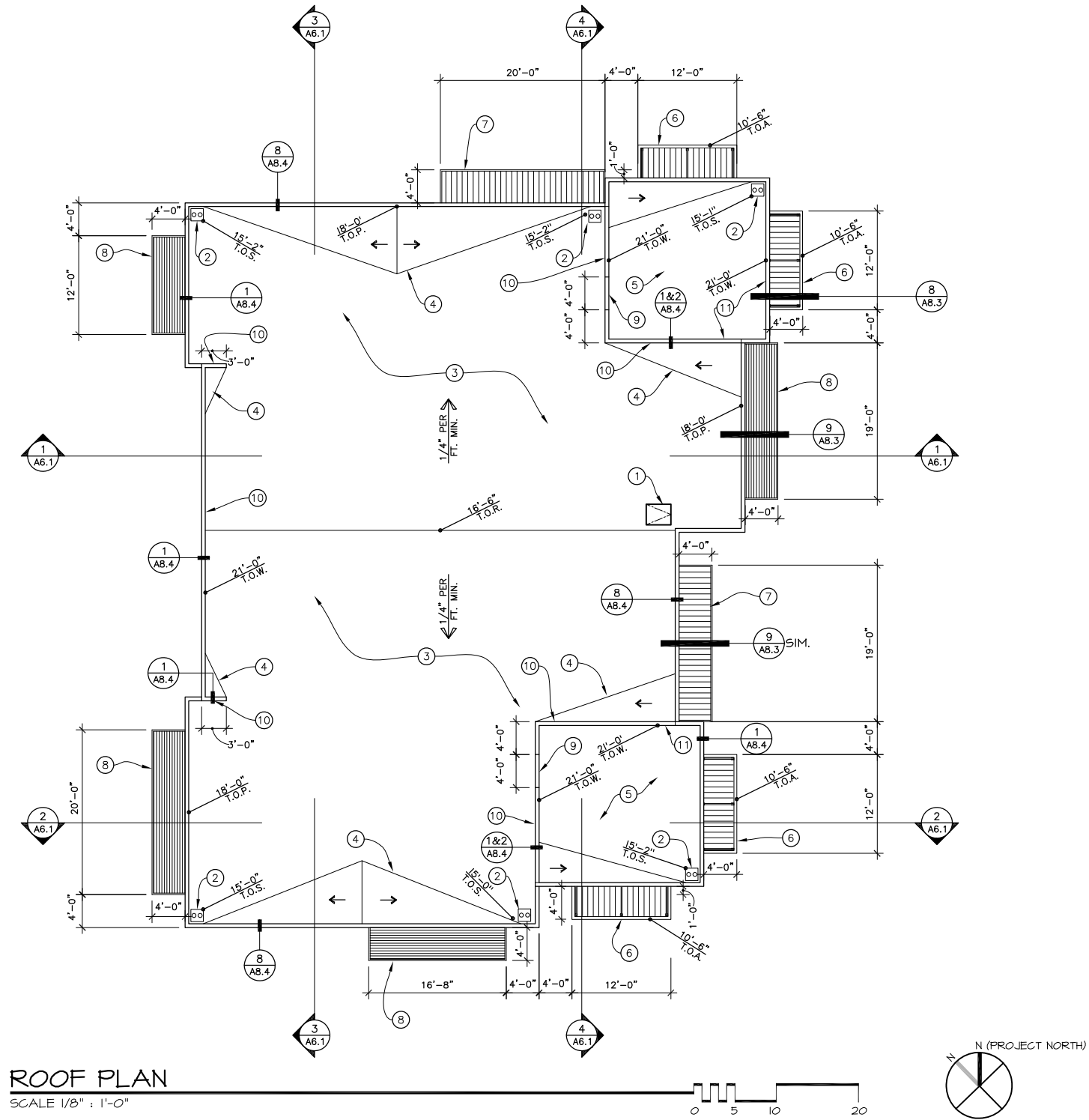


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Revisions	R&A No: A161304
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RIVIERA SHOPPING CENTER PAD 2

4724 TELEPHONE ROAD VENTURA, CALIFORNIA

Sheet No. A2.2



ROOF PLAN
SCALE 1/8" = 1'-0"

NOTE LEGEND

- 1 ROOF ACCESS HATCH. BILCO 3'-0" x 2'-6". SEE DETAIL 6/A8.3
- 2 ROOF AND OVERFLOW WITHIN 2" SUMP. SEE DETAIL 7/A8.3.
- 3 FOUR-PLY BUILT-UP ROOFING SYSTEM OVER PLYWOOD SHEATHING. "JOHNS MANVILLE, 4GNC OR, CLASS A, FM 1-90" UL 790, REPORT #TGFU.R10167. PROVIDE A "COOL ROOF" WHITE FINISH. SEE STRUCTURAL AND MECHANICAL DRAWINGS.
- 4 PLYWOOD CRICKET WITH ROOFING FINISH. SLOPE = 1/4" : 1'-0"
- 5 LOCATION OF MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS.
- 6 SOLID CANOPY WITH 12" DEEP SMOOTH FASCIA AND ROLL FORMED ALUMINUM DECK, SEE DETAILS 8/A8.3 AND 1A/SD5. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT.
- 7 SLOPED, SOLID AWNING WITH ROLL FORMED ALUMINUM DECK. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT. SEE DETAILS 9/A8.3 AND 1A/SD5.
- 8 SLOPED, LOUVERED AWNING. CANOPY BY "BEAGLE ONE, INC." OR EQUIVALENT. SEE DETAILS 9/A8.3 AND 1A/SD5.
- 9 4'-0" WIDE x 2'-7" HIGH OPENING IN PARAPET WALL. SEE SECTIONS A6.1
- 10 3/4" WOOD SIDING BY CENTENNIAL WOODS, 5" FACE DIMENSION. SEE ELEVATIONS A3.1.
- 11 7/8" EXTERIOR PLASTER OVER METAL LATH AND PAPER.

ABBREVIATION LEGEND

- T.O.A. = TOP OF AWNING
- T.O.E. = TOP OF EQUIPMENT
- T.O.P. = TOP OF PARAPET
- T.O.R. = TOP OF RIDGE
- T.O.S. = TOP OF SHEATHING
- T.O.W. = TOP OF EQUIPMENT SCREEN

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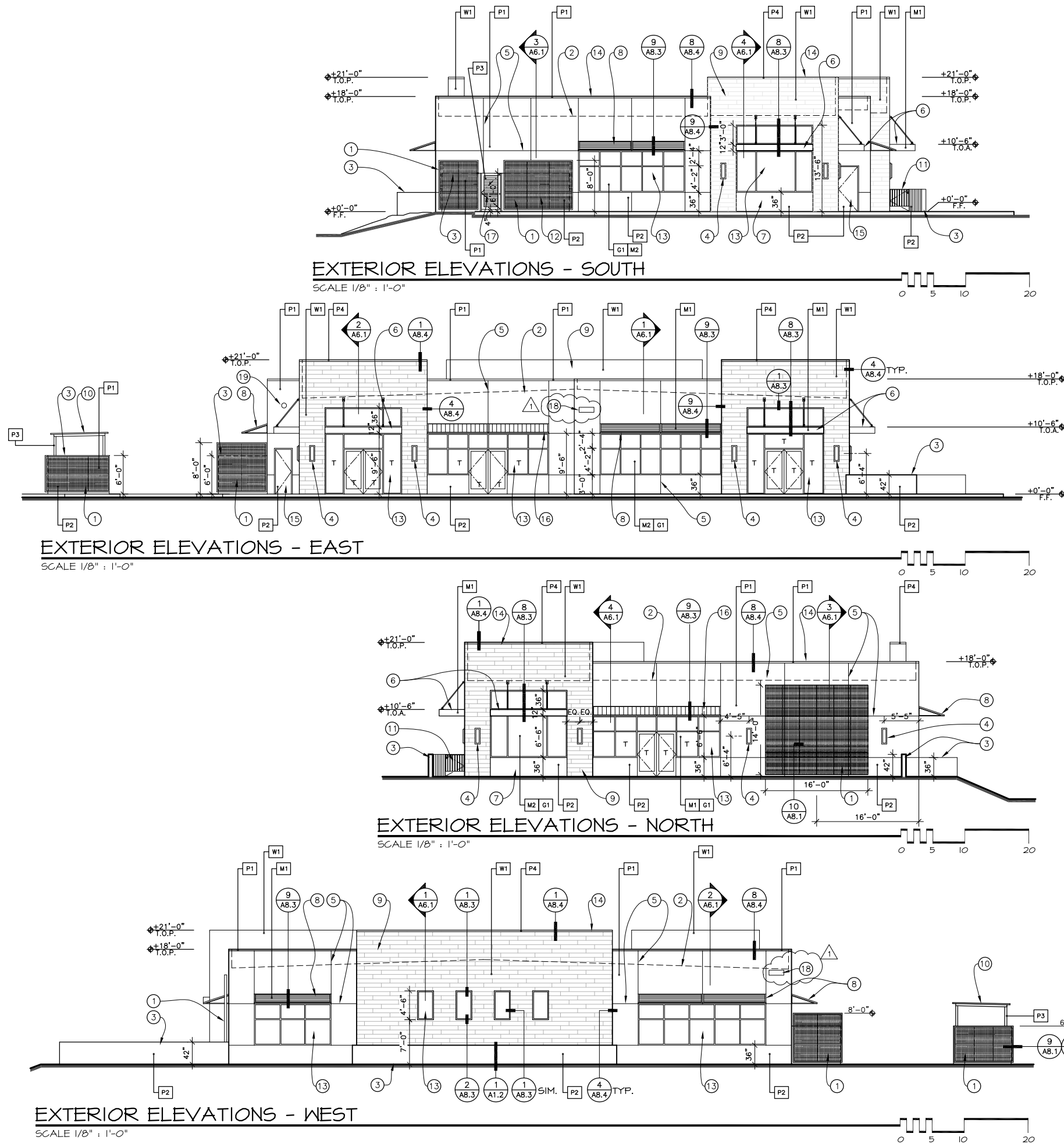
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ROOF PLAN	1/16/18 P.C.CORR.	Date:	10/20/17
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- ### NOTE LEGEND
- 1 3" THICK "GREEN SCREEN" PANEL, TYPICAL. SEE DETAILS 8,9,10,11/AB.1
 - 2 LINE OF ROOF BEYOND.
 - 3 PLASTERED CONCRETE BLOCK WALL.
 - 4 LIGHT FIXTURE. LOCATE AS SHOWN, TYPICAL. SEE ELECTRICAL DRAWINGS.
 - 5 PLASTER SCORE LINES. FRY-REGLET 1/4" CHANNEL SCREED.
 - 6 SOLID CANOPY WITH 12" DEEP SMOOTH FASCIA AND ROLL FORMED ALUMINUM DECK, BY BEAGLE ONE, INC. SEE DETAIL 8/AB.3 AND STRUCTURAL DRAWING FOR ATTACHMENT DETAIL.
 - 7 RECESSED PLASTERED WALL. SEE DETAIL 2/AB.3.
 - 8 SLOPED, LOUVERED AWNING BY BEAGLE ONE, INC. SEE DETAIL 9/AB.3 AND STRUCTURAL DRAWINGS FOR ATTACHMENT DETAIL.
 - 9 3/4" WOOD SIDING BY CENTENNIAL WOODS. 5" FACE DIMENSION.
 - 10 TRASH ENCLOSURE, SEE SHEET AB.2.
 - 11 WROUGHT IRON GATE, TO COMPLY WITH IIB-404.2
 - 12 ELECTRICAL BOXES BEHIND WALL, SEE ELECTRICAL DRAWINGS.
 - 13 2" x 4-1/2" ALUMINUM STOREFRONT, KAWNEER, CLASSIC BRONZE. CENTER SET CLEAR GLAZING. LOW-E GLAZING, 0.28 "U" 0.39 SHGC PPF SOLARBAN 60 (2) CLEAR + CLEAR. TEMPERED AS SHOWN WITH "T" SYMBOL.
 - 14 SHEET METAL PARAPET CAP, PAINT.
 - 15 HOLLOW METAL DOOR AND FRAME, PAINT.
 - 16 SLOPED, SOLID AWNING BY BEAGLE ONE, INC. WITH ROLL FORMED ALUMINUM DECK. STRUCTURAL DRAWINGS FOR ATTACHMENT DETAIL.
 - 17 LOUVERED HOLLOW METAL DOOR AND FRAME. PANIC HARDWARE ON INSIDE.
 - 18 MIN. 4" HIGH BUILDING ADDRESS NUMBERS.
 - 19 LOCATION OF FIRE ALARM BELL.

ABBREVIATION LEGEND

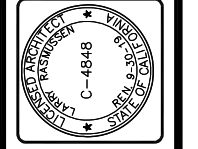
F.F.	=	FINISH FLOOR
T.O.C.	=	TOP OF COLUMN
T.O.P.	=	TOP OF PARAPET
T.O.R.	=	TOP OF ROOF

COLOR / MATERIAL LEGEND

PLASTER FINISH TO BE 30/30 SAND FLOAT

P1	PAINTED EXTERIOR PLASTER WALL FIELD SHERWIN WILLIAMS; PACER WHITE, SW6098
P2	PAINTED EXTERIOR PLASTER WALL BASE SHERWIN WILLIAMS; TONY TAUPE SW7038
P3	PAINTED METAL - AT TRASH ENCLOSURE SHERWIN WILLIAMS; BLACK MAGIC, SW 6991
P4	PAINTED METAL CAP, CORNER TRIM SHERWIN WILLIAMS; GAUNTLET GRAY, SW7019
W1	EXTERIOR WOOD SIDING CENTENNIAL WOODS; LARAMIE, 5" FACE.
M1	METAL AWNINGS POWDERCOAT TIGER DRYLAC 338/7019I
M2	ALUMINUM STOREFRONT KAWNEER; CLASSIC BRONZE
G1	GLASS; CLEAR

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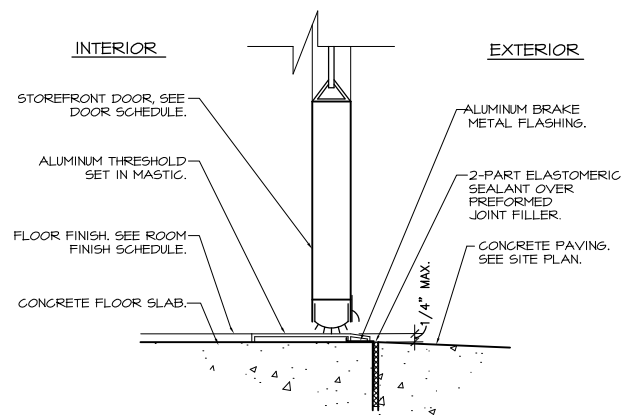


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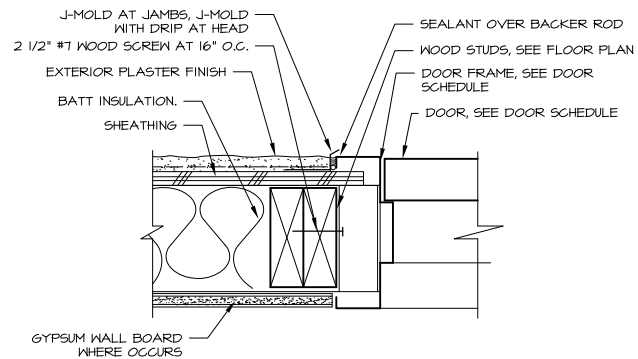
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Sheet No.
A3.1

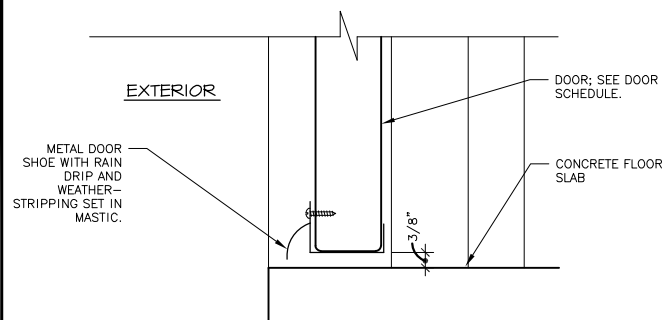
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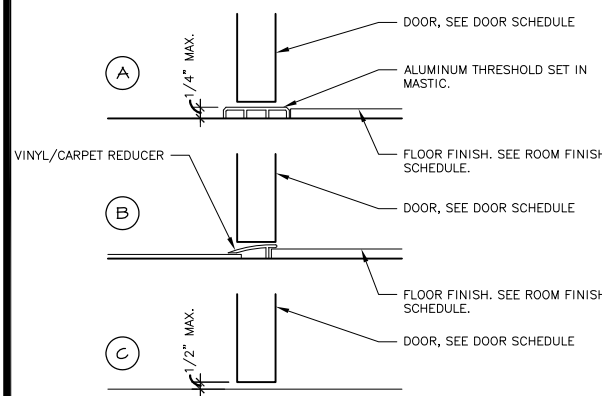
1 STOREFRONT DOOR THRESHOLD
SCALE 3" : 1'-0"



2 EXTERIOR HOLLOW METAL DOOR JAMB (HEAD SIM.)
NOT TO SCALE



3 HOLLOW METAL DOOR THRESHOLD
SCALE 3" : 1'-0"



4 INTERIOR THRESHOLD
SCALE 3" : 1'-0"

ROOM FINISH SCHEDULE									
ROOM NO.	ROOM NAME	CEILING		FLOOR		WALLS		REMARKS	
		HEIGHT	MATERIAL FINISH	MATERIAL FINISH	BASE	MATERIAL FINISH			
X									
101	SUITE	--	--	C	--	--	--	--	
102	SUITE	--	--	C	--	--	--	--	
103	SUITE	--	--	C	--	--	--	--	
104	FIRE RISER	--	--	C	--	GB	S	--	
105	ROOF ACCESS	--	--	C	--	GB	S	--	

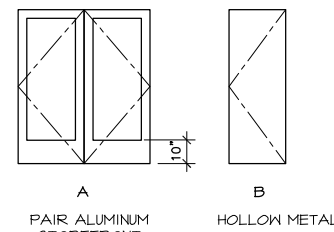
ROOM FINISH SCHEDULE ABBREVIATIONS

- C CONCRETE FLOOR-SEALED
- GB GYPSUM BOARD
- N NO OR NONE
- S PAINT PROCESS "S" SEMI-GLOSS

BUILDING DOOR SCHEDULE															
DOOR NO.	TYPE	SIZE		FINISH	DETAIL			FRAME		HARDWARE SET	LABEL	HARDWARE TYPE	CLOSER	SIGN	REMARKS
		WIDTH	HEIGHT		HEAD	JAMB	THRESHOLD	MATERIAL FINISH	MATERIAL FINISH						
X															
1	A	6'-0"	7'-0"	AL	1/A8.3	1/A8.3	1/A4.1	AL	MFR	--	N	PAN	Y	E	--
2	A	6'-0"	7'-0"	AL	1/A8.3	1/A8.3	1/A4.1	AL	MFR	--	N	PAN	Y	E	--
3	A	6'-0"	7'-0"	AL	1/A8.3	1/A8.3	1/A4.1	AL	MFR	--	N	PAN	Y	E	--
4	A	6'-0"	7'-0"	AL	1/A8.3	1/A8.3	1/A4.1	AL	MFR	--	N	PAN	Y	E	--
5	B	2'-6"	7'-0"	EMG	2/A4.1	2/A4.1	3/A4.1	HM	EMG	--	N	L	--	--	--
6	B	3'-0"	7'-0"	EMG	2/A4.1	2/A4.1	3/A4.1	HM	EMG	--	N	L	--	--	--
7	C	3'-0"	3'-6"	EMG	--	--	--	WR	EMG	--	--	L	--	--	--
--	B	3'-0"	6'-0"	EMG	2/A4.1 SIM.	2/A4.1 SIM.	--	HM	EMG	--	N	PAN	--	--	--

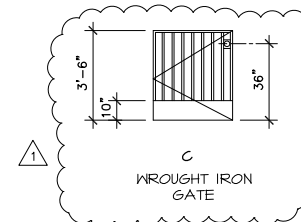


DOOR TYPES



DOOR SCHEDULE ABBREVIATIONS

- AL ALUMINUM
- E EXIT SIGNAGE (TACTILE)
- EMG EXTERIOR METAL GLOSS
- HM HOLLOW METAL
- L LOCKSET
- MFR MANUFACTURER'S STANDARD FINISH
- N OR NONE
- PAN PANIC HARDWARE
- PFM PREFINISHED METAL FRAME
- S PAINT PROCESS "S" SEMI-GLOSS
- WD WOOD
- WN WOOD NATURAL FINISH
- WR WROUGHT IRON
- Y YES

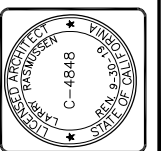


GENERAL FINISH & DOOR NOTES

1. DOOR HARDWARE:
 - A. ALL DOOR AND LATCHES SHALL BE LEVER TYPE AND SHALL BE LOCATED 34"-44" ABOVE FINISH FLOOR.
 - B. DOOR HARDWARE SHALL NOT REQUIRE MORE THAN 5 LBS. OF PRESSURE TO OPERATE EXTERIOR DOOR AND NO MORE THAN 5 LBS. OF PRESSURE TO OPERATE INTERIOR DOORS. FIRE RATED DOORS MAY REQUIRE 15 LBS. OF PRESSURE TO OPERATE. PRESSURE TO OPERATE DOORS SHALL BE MEASURED AT RIGHT ANGLES TO THE HINGED DOORS.
 - C. THRESHOLDS MAY NOT BE MORE THAN 1/2" HIGH AND EXPOSED EDGES SHALL BE BEVELED, WITH A SLOPE NO GREATER THAN 45 DEGREES, MAXIMUM ALLOWED SINGLE VERTICAL CHANGE IN ELEVATION SHALL BE 1/4".
 - D. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - E. THE BOTTOM 10" OF THE PUSH SIDE OF ALL DOORS AND GATES SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR OR GATE TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP HAZARDOUS CONDITION. EXCEPTION FOR SLIDING DOORS.
 - F. ALL FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR.
2. WALL, FLOOR AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN C.B.C. 803.5.

WHERE DOOR DOES NOT SWING OVER THE LANDINGS, LANDING DEPTH SHALL BE 58" MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
3. INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH C.B.C. 804.2 THROUGH 804.4.1 CARPET SHALL COMPLY WITH C.B.C. 11B-302.2.
4. EACH EXIT ACCESS FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE" PER C.B.C. 1013.4 11B-703. TACTILE (RAISED CHARACTERS AND BRAILLE) EXIT SIGNS ARE PLACED ON THE WALL ADJACENT TO THE LATCH SIDE. PLACE SIGN SUCH THAT BASELINE OF TACTILE CHARACTERS ARE 48" MIN, 60" MAX. A.F.F.
5. ACCESSIBILITY AND SIGNAGE:
 - A. UNISEX ROOM SIGN CENTERED ON DOOR AND MOUNTED AT 58"-60" A.F.F. SHALL BE 1/4" THICK, 12" DIAMETER AND EQUILATERAL TRIANGLE IN CONTRASTING COLORS. WALL MOUNTED SIGNAGE TO THE LATCH SIDE OF THE DOOR. 6" SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH VERBAL DESCRIPTION BELOW. SIGN HEIGHT PER NOTE 4. SEE DETAILS 5, 6/A&J.
 - B. ALL BUILDING ENTRANCES SHALL BE IDENTIFIED BY A STANDARD SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH ADDITIONAL SIGNS AT JUNCTIONS, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS. THE SYMBOL SHALL BE A WHITE FIGURE ON A BLUE BACKGROUND, BRAILLE, RAISED CHARACTERS, AND PICTORIAL SYMBOLS SIGNS SHALL BE USED WHENEVER SPECIALLY REQUIRED, AND SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CODE. SEE FLOOR PLAN FOR SIGNAGE LOCATIONS.
6. DOORS WITHIN THE ACCESSIBLE PATH OF TRAVEL:
 - A. ALL LATCHING AND LOCKING HAND ACTIVATED DOORS SHALL OPERATE WITH A SINGLE EFFORT WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
 - B. DOOR SHALL BE OF A SIZE TO PERMIT INSTALLATION OF A DOOR NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED EXIT DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT OPENING IS NOT LESS THAN 32", MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. THE BOTTOM 10" OF DOORS SHALL BE A SMOOTH SURFACE.
7. GLAZING SHALL BE TEMPERED AS FOLLOWS:
 - A. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEM A ABOVE, THAT MEETS ALL OF THE FOLLOWING.
 1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 2. EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE.
 3. EXPOSED TOP EDGE GREATER THAN 36" ABOVE.
 4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

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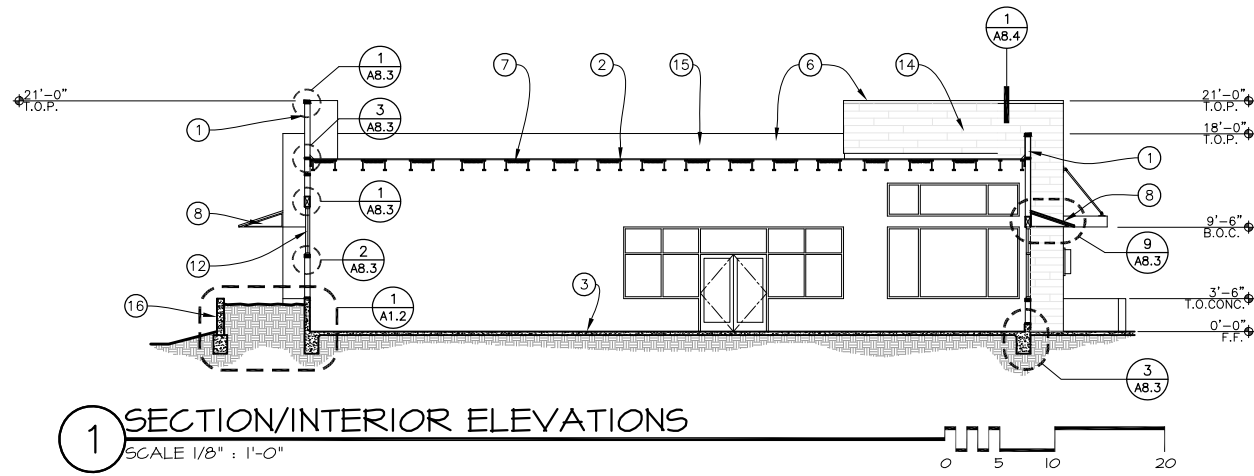


Revisions	R&A No:	A161304
1/16/18 P.C. CORR.	Date:	10/20/17
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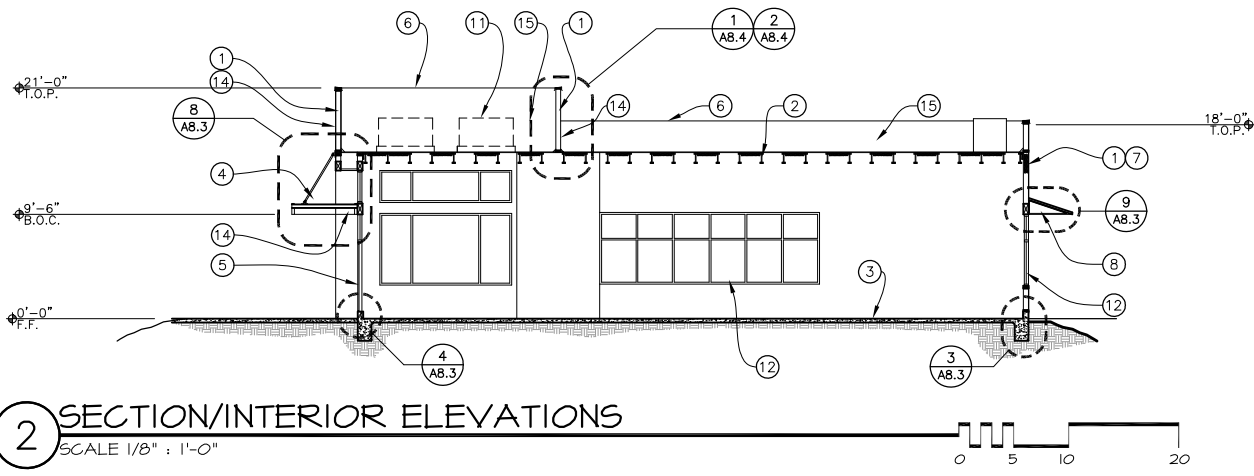
RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

Sheet No.
A4.1

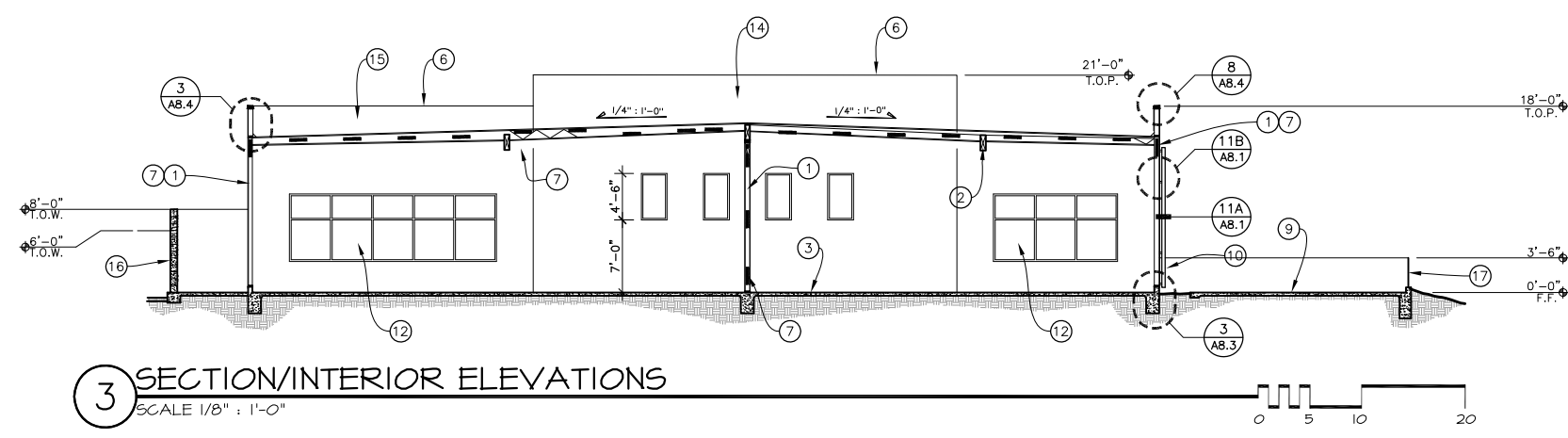
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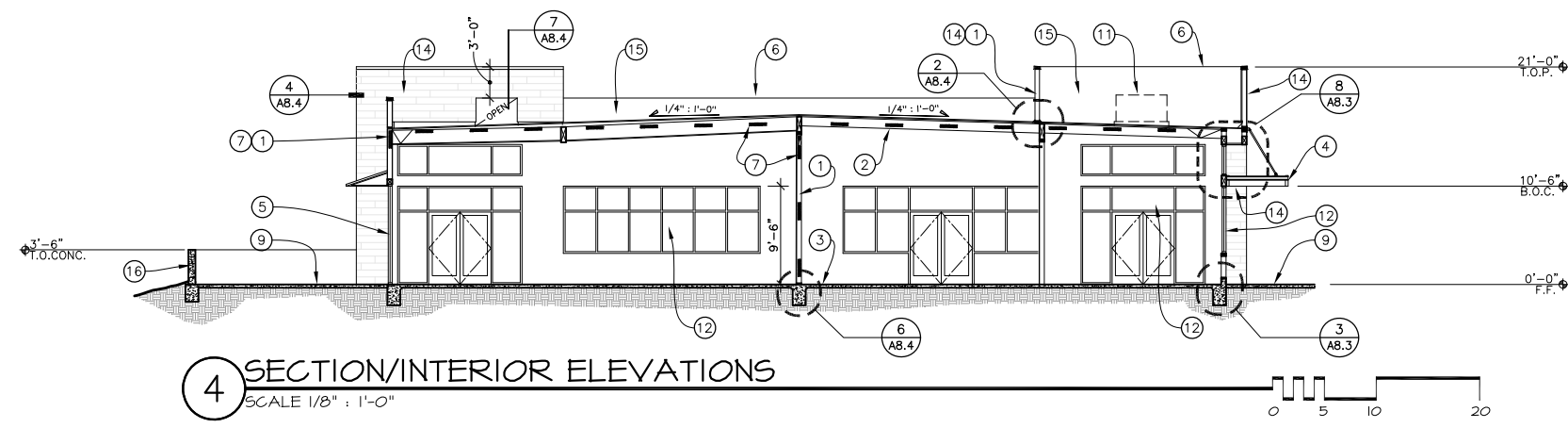
1 SECTION/INTERIOR ELEVATIONS
SCALE 1/8" = 1'-0"



2 SECTION/INTERIOR ELEVATIONS
SCALE 1/8" = 1'-0"



3 SECTION/INTERIOR ELEVATIONS
SCALE 1/8" = 1'-0"



4 SECTION/INTERIOR ELEVATIONS
SCALE 1/8" = 1'-0"

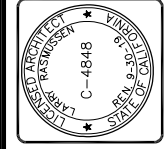
NOTE LEGEND

- 1 2x6 WOOD STUDS @ 16" O.C.
- 2 ROOF FRAMING. SEE STRUCTURAL DRAWINGS.
- 3 CONCRETE SLAB FLOOR. SEE STRUCTURAL DRAWINGS.
- 4 CANOPY, SEE ROOF PLAN AND DETAILS NOTED.
- 5 ALUMINUM STOREFRONT DOOR. SEE DOOR SCHEDULE.
- 6 PARAPET BEYOND
- 7 PROVIDE R-19 INSULATION AT ROOF AND WALLS.
- 8 AWNING, SEE ROOF PLAN AND DETAILS NOTED.
- 9 CONCRETE PATIO, SEE SITE PLAN AND CIVIL PLANS
- 10 3" THICK GREENSCREEN PANEL, TYPICAL.
- 11 LOCATION OF HVAC EQUIPMENT, SEE ROOF PLAN AND MECHANICAL DRAWINGS.
- 12 2" x 4-1/2" ALUMINUM STOREFRONT, CENTER SET GLAZING. SEE ELEVATIONS A3.1.
- 13 7/8" EXTERIOR PLASTER OVER METAL LATH.
- 14 3/4" THICK WOOD SIDING OVER BUILDING PAPER, SEE ELEVATIONS A3.1.
- 15 MODIFIED BITUMEN CAP SHEET ON VERTICAL SURFACE.
- 16 PLASTERED BLOCK WALL.
- 17 WROUGHT IRON FENCE ON 6" CONCRETE CURB. HEIGHT TO 42".

ABBREVIATION LEGEND

- B.O.C. = BOTTOM OF CANOPY
- T.O.P. = TOP OF PARAPET
- T.O.R. = TOP OF ROOF

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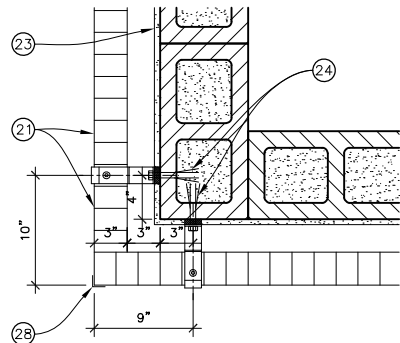


SECTIONS	
Sheet Title	Revisions
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10/20/17	
C.J.H.	

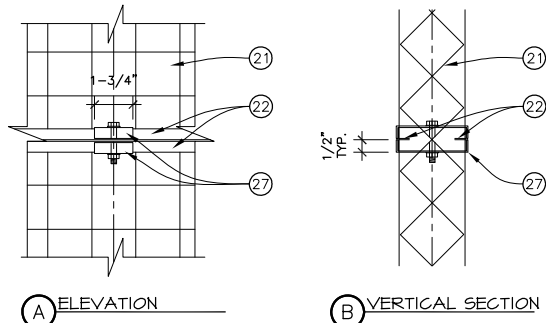
RIVIERA SHOPPING CENTER
PAD 2

4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

Sheet No.
A6.1

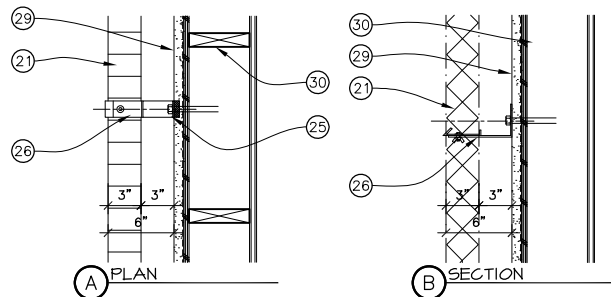


9 GREEN SCREEN - CORNER DET.
SCALE 1-1/2" : 1'-0"

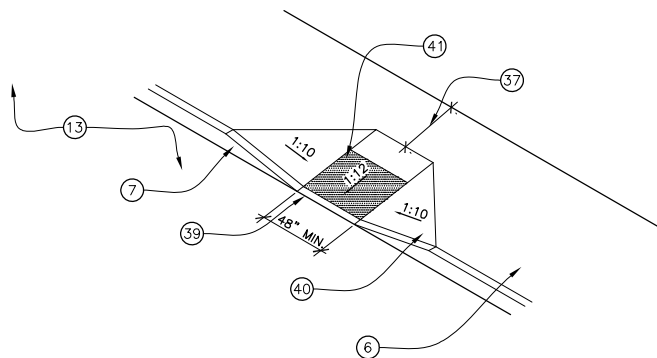


NOTE: ONLY TO BE USED @ VERTICAL SEAMS OF LARGE DIA. COLUMN TRELLIS UNITS & @ HORIZONTAL SEAMS @ FREESTANDING FENCES AND SCREENS

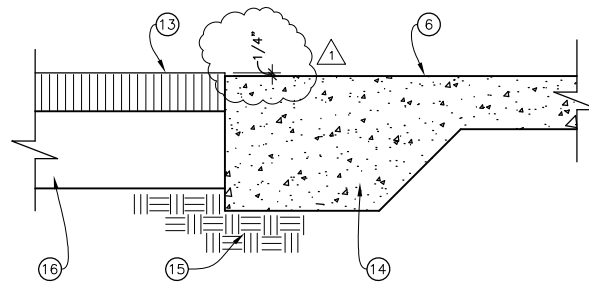
10 GREEN SCREEN "C" CLIP - PANEL TO PANEL
SCALE 3" : 1'-0"



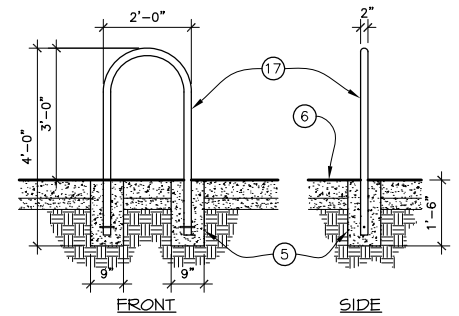
11 GREEN SCREEN - MOUNTING CLIP @ METAL FRAMING
SCALE 1-1/2" : 1'-0"



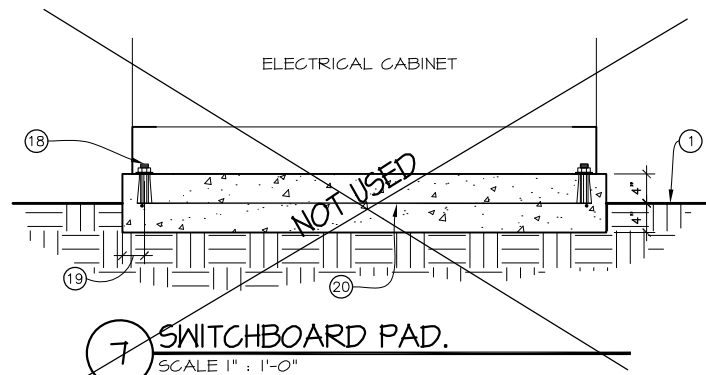
12 CURB RAMP
NOT TO SCALE



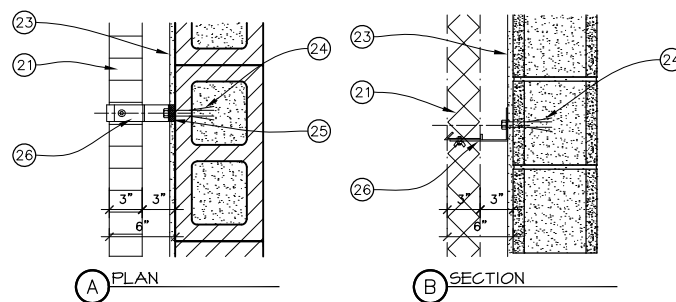
5 A.C. PAVING TO CONCRETE
SCALE 1-1/2" : 1'-0"



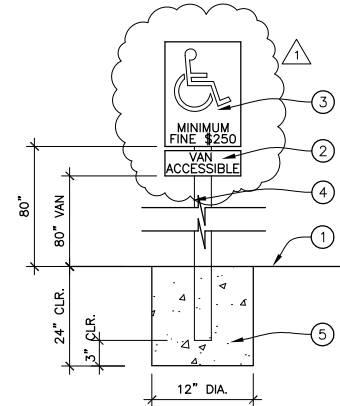
6 BIKE RACK
SCALE 1/2" : 1'-0"



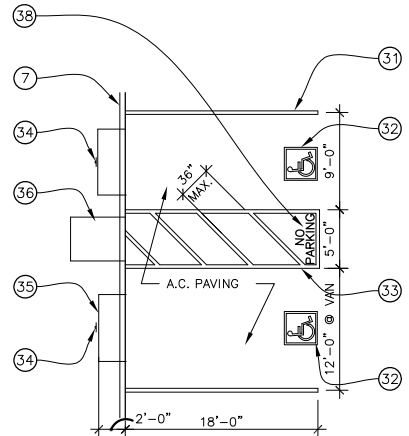
7 SWITCHBOARD PAD.
SCALE 1" : 1'-0"



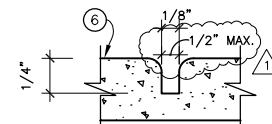
8 GREEN SCREEN - MOUNTING CLIP @ CONCRETE BLOCK WALL
SCALE 1-1/2" : 1'-0"



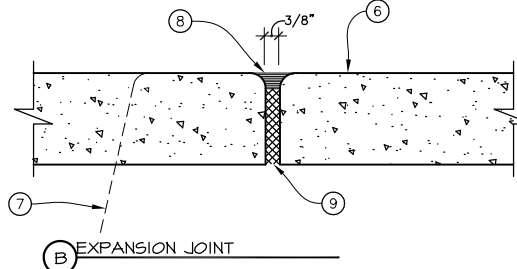
1 ACCESSIBLE STALL SIGN
NOT TO SCALE



2 ACCESSIBLE PARKING STALLS
SCALE N.T.S.



3 CONCRETE JOINTS
SCALE 3" : 1'-0"



4 CONCRETE JOINT AT EXISTING PAVING
SCALE 1-1/2" : 1'-0"

NOTE LEGEND

- 1 FINISH GRADE.
- 2 WHERE REQUIRED AT VAN SPACES, SEE SITE PLAN, PROVIDE ADDITIONAL ALUMINUM SIGN WITH 1" HIGH TEXT TO MATCH WIDTH AND COLOR OF SYMBOL SIGN.
- 3 9" x 9" ALUMINUM SIGN DISPLAYING INTERNATIONAL ACCESSIBLE SYMBOL WITH BLUE PORCELAIN ENAMEL AND WHITE REFLECTORIZED SYMBOLS AND LETTERS.
- 4 GALVANIZED "U" CHANNEL POST.
- 5 CONCRETE FOOTING AS NOTED.
- 6 CONCRETE PAVING. SEE SITE PLAN CIVIL DRAWINGS FOR FINISH, THICKNESS, STEEL REINFORCEMENT.
- 7 CONCRETE CURB. SEE CIVIL DRAWINGS.
- 8 POLYURETHANE BASED 2 PART ELASTOMERIC SEALANT.
- 9 PREFORMED JOINT FILLER.
- 10 EXISTING CONCRETE FLATWORK
- 11 DRILL & EPOXY GROUT DOWEL INTO EXISTING CONC.
- 12 #4 REBAR DOWEL AT 12" O.C. x 12 LONG".
- 13 A.C. PAVING OVER AGGREGATE BASE; SEE SITE PLAN.
- 14 THICKEN CONCRETE EDGE.
- 15 COMPACTED FILL.
- 16 CLASS II BASE.
- 17 2" METAL PIPE COATED WITH 12-20 MILS THICK PLASTISOL COATING
- 18 NOT USED.
- 19 NOT USED.
- 20 NOT USED.
- 21 3" THICK GREENSCREEN PANEL, TYPICAL.
- 22 STEEL EDGE TRIM @ PANEL EDGES PER MANUFACTURER, TYPICAL.
- 23 EXTERIOR PLASTER FINISH
- 24 1/2" DIA. KWIK BOLT 3 EXPANSION ANCHOR @ 24" O.C. MAX. WITH 4" MINIMUM EMBEDMENT.
- 25 1/2" x 1-1/2" DIA. BLACK UHMW PLASTIC SPACER PER MANUFACTURER, TYPICAL.
- 26 MOUNTING CLIP PER MANUFACTURER, TYPICAL.
- 27 "C" CLIP WITH STAINLESS STEEL THRU BOLT, TYPICAL. CLIP SIZED FOR 1/4" FASTENER, TYPICAL.
- 28 TRIM PER MANUFACTURER @ OUTSIDE CORNER ONLY, TYPICAL.
- 29 7/8" EXTERIOR PLASTER FINISH OVER WATER RESISTANT BARRIER AND 1/2" PLYWOOD
- 30 2 x 6 WALL FRAMING
- 31 PAINTED PARKING LINES. COLOR SHALL BE WHITE. TWO COATS MINIMUM.
- 32 3'-0" SQUARE INTERNATIONAL SYMBOL OF ACCESSIBILITY. PAINT WHITE STENCIL SYMBOL OVER BLUE PAINTED BACKGROUND.
- 33 PAINTED ACCESSIBLE LOADING/UNLOADING AISLE AS SHOWN. COLOR SHALL BE BLUE.
- 34 ACCESSIBLE PARKING SIGN CENTERED AT END OF STALL. SEE DETAIL 1.
- 35 LINE OF ALLOWABLE VEHICLE OVERHANG.
- 36 CURB RAMP, WHERE OCCURS, SEE SITE PLAN AND DETAIL 12.
- 37 MINIMUM 48" CLEAR, WITH MAXIMUM 2% SLOPE.
- 38 "NO PARKING" PAINTED 1 WHITE, 12" HIGH LETTERS.
- 39 FLUSH JOINT BETWEEN PAVING SURFACE.
- 40 AT RAMP, PROVIDE COARSE BROOM FINISH.
- 41 36" LONG RUN OF TRUNCATED DOMES, WIDTH OF RAMP.

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Revisions	R&A No: A161304
Date: 10/20/17	Drawn: C.J.H.
Checked: C.J.H.	Consult: No.

RIVIERA SHOPPING CENTER

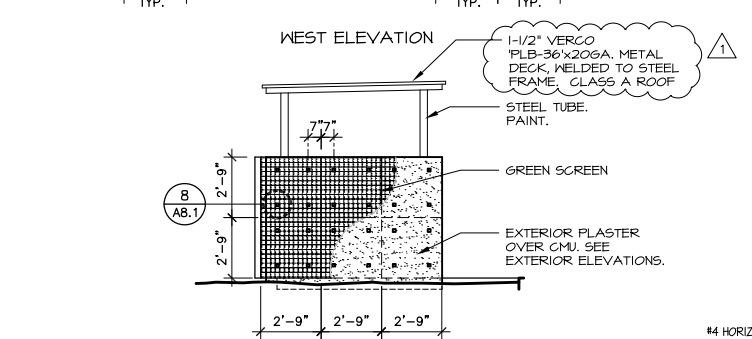
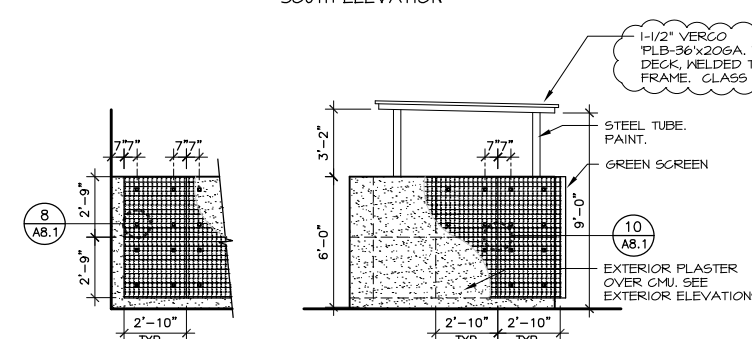
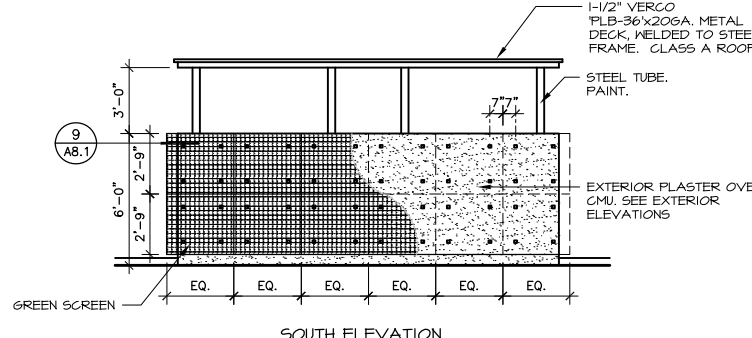
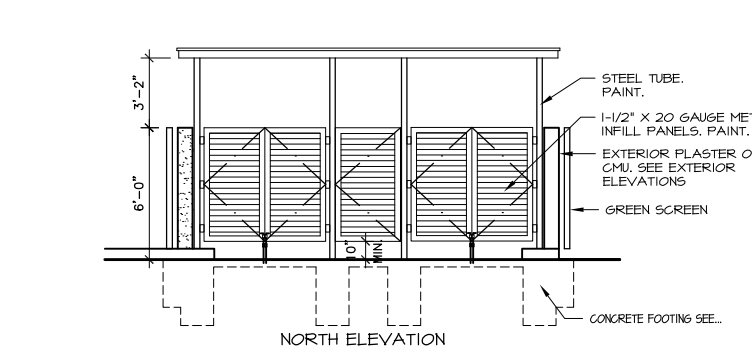
PAD 2

4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

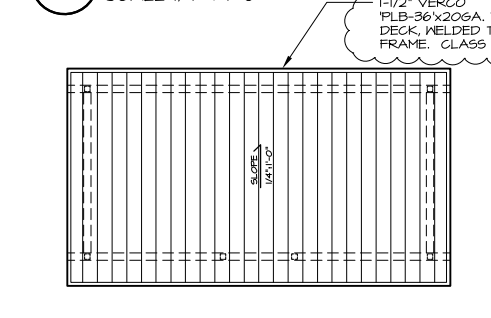
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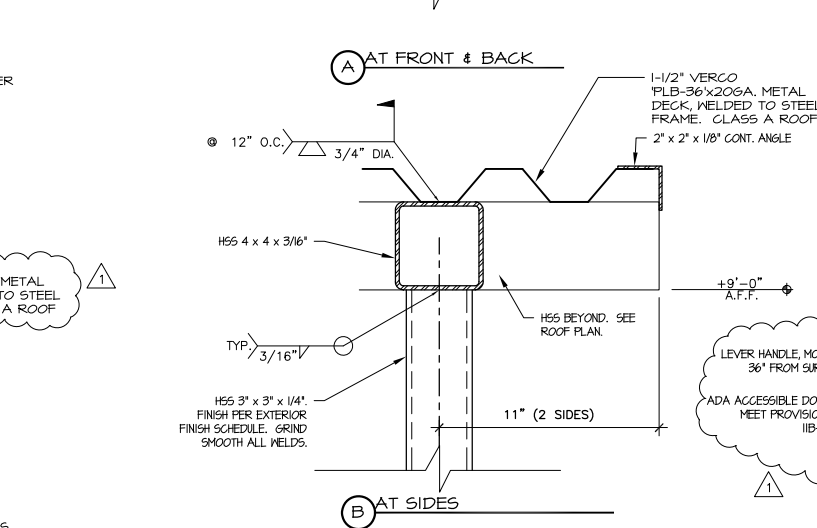
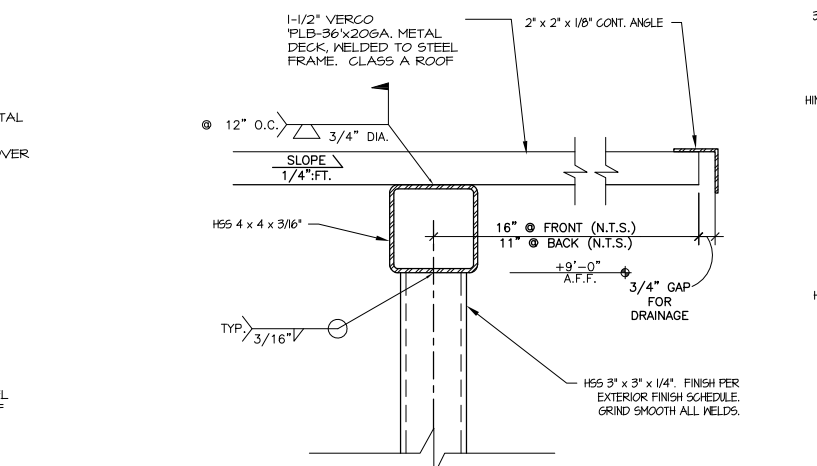
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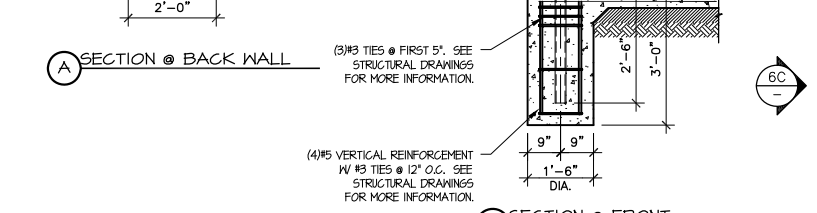
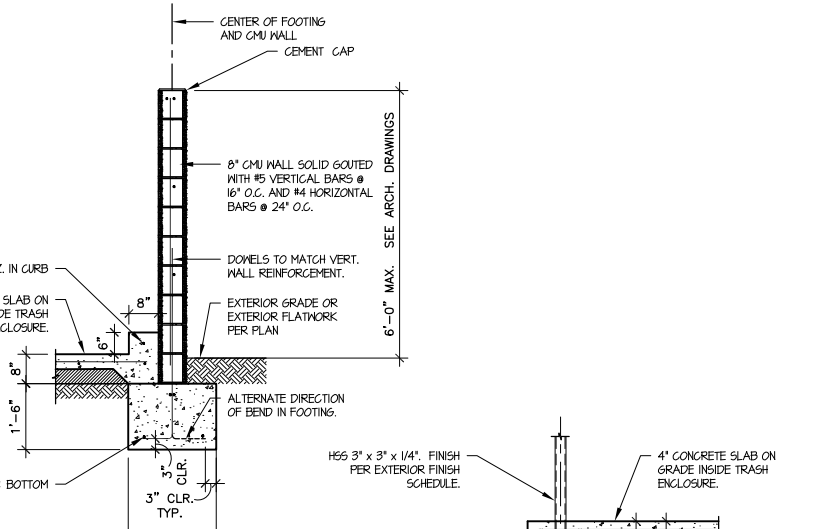
6 ELEVATIONS
SCALE 1/4" : 1'-0"



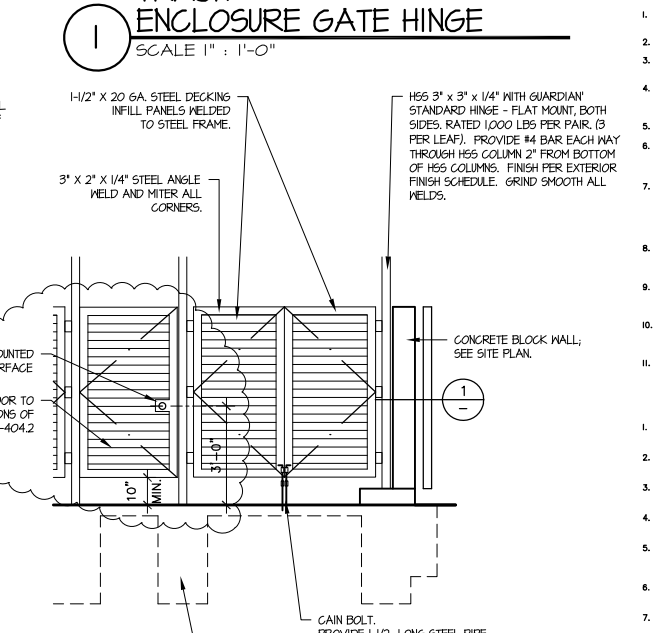
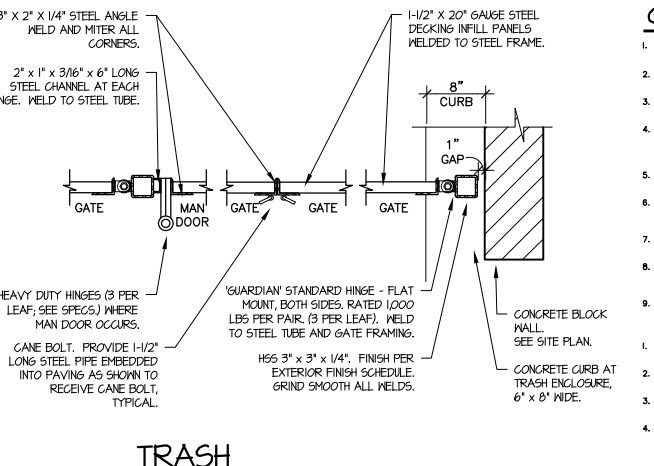
7 ROOF PLAN
SCALE 1/4" : 1'-0"



4 TRASH ENCLOSURE ROOF
SCALE 3" : 1'-0"



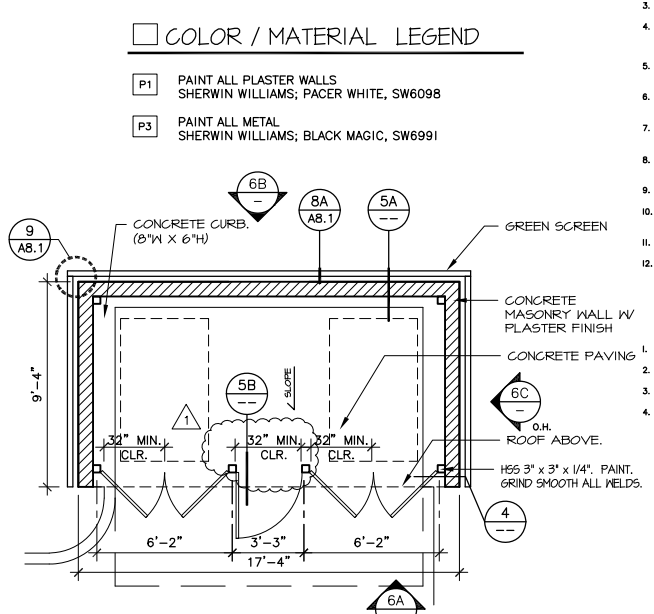
5 TRASH ENCLOSURE WALL SECTIONS
SCALE 1/2" : 1'-0"



2 TRASH ENCLOSURE GATES
SCALE 3/8" : 1'-0"

COLOR / MATERIAL LEGEND

- P1 PAINT ALL PLASTER WALLS SHERWIN WILLIAMS; PACER WHITE, SW6098
- P3 PAINT ALL METAL SHERWIN WILLIAMS; BLACK MAGIC, SW6991

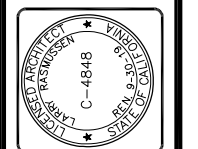


3 FLOOR PLAN
SCALE 1/4" : 1'-0"

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), THE 2015 INTERNATIONAL BUILDING CODE (IBC), AND ALL LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES OR INCONSISTENCIES.
 3. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE WEAKENED EXCEPT AS ALLOWED BY THE CALIFORNIA BUILDING CODE OR APPROVED BY THE ENGINEER.
 4. THE ENGINEER SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITION WHICH AFFECTS THE STRUCTURAL STABILITY OF THE BUILDING PRIOR TO CONTINUING WITH CONSTRUCTION. SHOULD ANY CONDITION ARISE WHERE THERE APPEARS TO BE AN ERROR ON THE DRAWINGS OR A DISCREPANCY BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONTINUING WITH THE WORK.
 5. IN THE CASE WHERE TWO OR MORE DETAILS APPLY TO THE SAME PART OF THE WORK ARE IN CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN UNLESS CLARIFIED OR OTHERWISE APPROVED BY THE ENGINEER.
 6. REVIEW OF SHOP DRAWINGS MEANS REVIEW OF GENERAL METHOD OF FABRICATION ONLY. DIMENSIONS AND QUANTITIES MAY NOT BE CHECKED, AND REVIEW OF THE SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONSTRUCTION DAILY LOGS UNLESS SPECIFICALLY SO INDICATED IN THE REVIEW.
 7. THE ENGINEER HAS NOT BEEN RETAINED FOR SUPERVISION OR INSPECTION DURING CONSTRUCTION, BUT WILL RESOLVE STRUCTURAL ITEMS BROUGHT TO HIS ATTENTION DURING CONSTRUCTION.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL ADEQUATELY BRACE ELEMENTS OF THE STRUCTURE DURING CONSTRUCTION TO ENSURE THE SAFETY OF THE STRUCTURE.
 9. REFER TO THE ARCHITECTURAL DRAWINGS FOR DIMENSIONS, ELEVATIONS, AND SLOPES NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- FOUNDATION**
1. THERE IS NO SOILS REPORT FOR THIS PROJECT. THE CONTRACTOR SHALL VERIFY THAT ALL FOOTINGS BEAR A MINIMUM OF 12" INTO FIRM UNDISTURBED SOILS.
 2. ALLOWABLE SOIL BEARING VALUE IS: 1,000 PSF FOR ALL FOOTINGS AND ALL FOOTINGS SHALL BARE INTO FIRM UNDISTURBED SOILS.
 3. ALL EARTH CUTS OVER 5'-0" IN HEIGHT SHALL BE BRACED BY TEMPORARY SHORING OR A TWO PHASE SLOT CUT WITH MAX. 6'-0" SLOTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF TEMPORARY SHORING AND BRACING.
 4. ALL GRADES AROUND THE PERIMETER OF THE STRUCTURE SHALL SLOPE AWAY FROM THE STRUCTURE TO PREVENT WATER FROM ENTERING THE BUILDING OR PONDING ADJACENT TO THE FOOTINGS.
- CONCRETE**
1. ALL CONCRETE UNLESS OTHERWISE SHOWN ON THE PLANS SHALL BE HARDROCK CONFORMING TO ASTM C-94, WITH A MIN. COMPRESSIVE STRENGTH AT 28 DAYS OF $f_c = 2,500$ PSI.
 2. AGGREGATE FOR THE CONCRETE SHALL CONFORM TO ASTM C-33, INCLUDING APPENDIX "X".
 3. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS FOR MIXING, PLACING, FINISHING, CURING, AND PROTECTING CONCRETE DURING UNFAVORABLE WEATHER CONDITIONS.
 4. ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60 EXCEPT #3 BARS MAY BE GRADE 40. ALL WELDED REIN. STEEL SHALL BE ASTM-A706. ALL BARS SHALL BE FREE OF RUST, GREASE, MILL SCALE OR ANY OTHER MATERIALS WHICH MIGHT AFFECT ITS BOND TO THE CONCRETE. ALL BAR BENDS SHALL BE MADE COLD.
 5. PROVIDE 3/4" CHAMFER ON ALL EXPOSED CORNERS.
 6. BAR SPLICES SHALL BE LAP SPLICES W/ MIN. 40 BAR DIAM. LAP W/ AN 18" MIN. (WHICHEVER IS GREATER) STAGGER LAP SPLICES OF MULTIPLE BARS, I.E. IN CONT. FOOTING W/ 2 HORIZ. BARS TOP AND BOTTOM STAGGER TOP BAR LAP SPLICES AND STAGGER BOTTOM BAR LAP SPLICES. SPLICES DO NOT HAVE TO BE STAGGERED BETWEEN TOP AND BOTTOM BARS).
 7. REINFORCING BARS SHALL HAVE THE FOLLOWING CONCRETE COVER, (UNLESS NOTED OTHERWISE IN DETAILS):
 CONCRETE POURED AGAINST EARTH 3 INCHES
 CONCRETE BEAMS AND COLUMNS 2 INCHES
 CONCRETE SLABS ABOVE GRADE 1 INCH
 8. DRYPACK SHALL BE MIXED IN THE PROPORTIONS OF 1 PART PORTLAND CEMENT TO 2-1/2 PARTS SAND WITH ENOUGH WATER TO PRODUCE STIFF MIX. DRYPACK SHALL BE THOROUGHLY TAMPED INTO PLACE TO ENSURE A DENSE FINISH, FREE OF VOIDS.
 9. THE SLUMP OF THE CONCRETE SHALL BE THE MINIMUM THAT IS PRACTICABLE. WHEN VIBRATORS ARE USED TO CONSOLIDATE THE CONCRETE, THE SLUMP SHALL NOT EXCEED 4 INCHES, OTHERWISE THE SLUMP SHALL NOT EXCEED 6 INCHES.
 10. ALL CONCRETE SHALL BE ADEQUATELY CONSOLIDATED DURING PLACEMENT AND ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT.
 11. EXCEPT WHERE INDICATED OTHERWISE, ALL REINFORCING STEEL SHALL BE BENT AND PLACED IN ACCORDANCE WITH THE "CODE OF STANDARD PRACTICE AND THE SPECIFICATIONS FOR PLACING REINFORCING STEEL" OF THE CONCRETE REINFORCING STEEL INSTITUTE.
- STRUCTURAL STEEL**
1. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 EXCEPT FOR WIDE FLANGE SHAPES WHICH SHALL CONFORM TO ASTM A-992, GRADE 50. SEE NOTE "2" BELOW FOR PIPES AND TUBE SHAPES.
 2. STEEL PIPE SHALL CONFORM TO ASTM A-53, GRADE "B" AND TUBULAR STEEL MEMBERS SHALL CONFORM TO ASTM A-500, GRADE "B".
 3. ALL WELDING SHALL BE PERFORMED WITH E70XX ELECTRODES CONFORMING TO AWS D11, LATEST EDITION. PROVIDE BACKING PLATES AS REQUIRED FOR FULL PENETRATION WELLS.
 4. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS BY THE A.I.S.C. LATEST EDITION.
 5. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS IN THE SHOP OF A FABRICATOR APPROVED BY THE LOCAL BUILDING DEPARTMENT FOR WELDING IN THE SHOP. FOR SHOPS NOT APPROVED, WELDING SHALL BE CONTINUOUSLY INSPECTED BY A LICENSED DEPUTY INSPECTOR PER SECTION 1704.2.5 OF THE CBC.
 6. CONTINUOUS INSPECTION BY A LICENSED DEPUTY INSPECTOR IS REQUIRED FOR ALL FIELD WELDING PER SEC. 1705.2 OF THE CBC, EXCEPT MINOR ITEMS WHEN APPROVED BY THE ENGINEER AND BUILDING INSPECTOR.
 7. ALL FABRICATED ITEMS SHALL BE SHOP PAINTED WITH ONE COAT OF SHOP PRIMER EXCEPT FOR ITEMS ENCASED IN CONCRETE AND SURFACES TO BE WELDED. STEEL SURFACES ENCASED IN CONCRETE SHALL BE LEFT UNPAINTED, BUT FREE FROM RUST, OIL, OR OTHER DELETERIOUS MATERIALS WHEN ENCASED.
 8. BOLT HOLES SHALL BE 1/16 INCH LARGER THAN BOLT DIAMETER UNLESS SLOTTED HOLES ARE INDICATED IN DETAILS. BOLT HOLES SHALL BE PUNCHED OR DRILLED, BURNED HOLES ARE NOT PERMITTED.
 9. BOLT HEADS OR NUTS BEARING ON SLOPING SURFACES SHALL BE EQUIPPED WITH BEVELED WASHERS.
 10. MACHINE BOLTS SHALL CONFORM TO ASTM A-307 AND ANCHOR BOLTS TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS.
- MASONRY**
1. ALL CONCRETE BLOCKS SHALL BE GRADE "N" MEDIUM WEIGHT UNITS CONFORMING TO ASTM C-90, AND SHALL HAVE A NET AREA COMPRESSIVE STRENGTH OF 2,000 PSI (CBC 2105A.2).
 2. REINFORCING STEEL FOR MASONRY WORK SHALL BE DEFORMED AND SHALL CONFORM TO ASTM A-615, GRADE 60. ALL REINFORCING STEEL SHALL BE POSITIONED AS INDICATED ON PLANS. LAP SPLICES OF REINFORCING STEEL IN MASONRY SHALL BE 48 BAR DIAMETERS WITH A MIN. OF 8 INCHES, WHICHEVER IS GREATER. WHEN ADJACENT SPLICES ARE SEPARATED BY 3 INCHES OR LESS, (I.E. 2 BARS IN 8" CMU), THE LAP LENGTH SHALL BE INCREASED TO 60 BAR DIAMETERS, UNLESS THE LAP SPLICES ARE STAGGERED AT LEAST 24 BAR DIA. OR SPECIFIC LAP LENGTHS ARE SHOWN ELSEWHERE ON PLANS.
 3. ALL MASONRY WORK SHALL CONFORM TO CHAPTER 21 OF THE 2016 CALIFORNIA BUILDING CODE.
 4. GROUT SHALL CONFORM TO TABLE 2103.3 OF THE CBC AND ASTM C476, TABLE 1, AND SHALL HAVE A MIN. COMPRESSIVE STRENGTH AT 28 DAYS OF 2,000 PSI. GROUT SHALL BE PROPERLY CONSOLIDATED BY MEANS OF MECHANICAL VIBRATORS. ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE PROPERLY SECURED IN POSITION PRIOR TO GROUTING.
 5. PROVIDE VERTICAL DOWELS WITH STANDARD HOOKS AT BOTTOM FROM ALL FOOTINGS WITH SIZE AND SPACING TO MATCH VERTICAL MASONRY REINFORCING, UNLESS OTHERWISE NOTED IN PLANS.
 6. PROVIDE 2-#5 VERTICAL, FULL HEIGHT, AT SIDES OF ALL OPENINGS, ENDS OF ALL WALLS, AND CORNERS, UNLESS OTHERWISE NOTED.
 7. PROVIDE 2-#5 AT BOTTOM OF ALL LINTELS W/ A MIN. OF INCH EXTENSION PAST SIDE OF OPENING, UNLESS OTHERWISE NOTED ON PLANS OR DETAILS. USE 2-#4 CONT. HORIZ. @ TOP OF ALL SILLS.
 8. VERTICAL REINFORCING SHALL BE LOCATED AT THE CENTER OF THE WALL UNLESS OTHERWISE NOTED IN DETAILS AND SHALL BE HELD IN POSITION AT INTERVALS NOT EXCEEDING 8'-0".
 9. ALL HORIZONTAL STEEL SHALL BE IN LINTEL OR CHANNEL BLOCKS.
 10. UNLESS OTHERWISE INDICATED ALL EXTERIOR JOINTS SHALL BE 3/8" TOOLED CONCAVE, AND INTERIOR JOINTS SHALL BE STRUCK FLUSH AND SACKED.
 11. NO PIPING OTHER THAN CONDUIT SHALL BE EMBEDDED IN THE MASONRY UNLESS APPROVED BY THE ENGINEER.
 12. MASONRY UNITS SHALL BE LAID IN A "RUNNING" BOND. "STACK" BOND SHALL BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
- SPECIAL INSPECTIONS**
- PROVIDE SPECIAL INSPECTION BY A LICENSED DEPUTY INSPECTOR APPROVED BY THE LOCAL BUILDING OFFICIAL FOR THE FOLLOWING WORK IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 17 OF THE CALIFORNIA BUILDING CODE:
1. FOR ALL CONCRETE WITH AN f_c OVER 2,500 PSI.
 2. FOR ALL REINFORCING STEEL WHICH IS PLACED IN CONCRETE WITH AN f_c OVER 2,500 PSI.
 3. FOR ALL FIELD WELDING.
 4. FOR ALL STRUCTURAL STEEL FABRICATED IN THE SHOP OF A FABRICATOR NOT APPROVED BY THE LOCAL BUILDING DEPARTMENT FOR FABRICATION. A FABRICATOR SHALL BE CONSIDERED "APPROVED" ONLY IF THE FABRICATOR HAS COMPLIED WITH THE REQUIREMENTS OF SECTION 1701.7 OF THE CBC.

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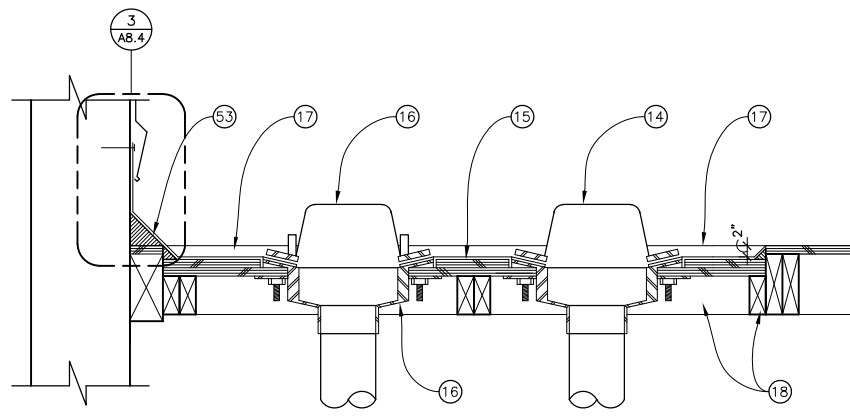
Revisions	R&A No:	A161304
1/16/16 P.C.CORR.	Date:	10/20/17
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RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

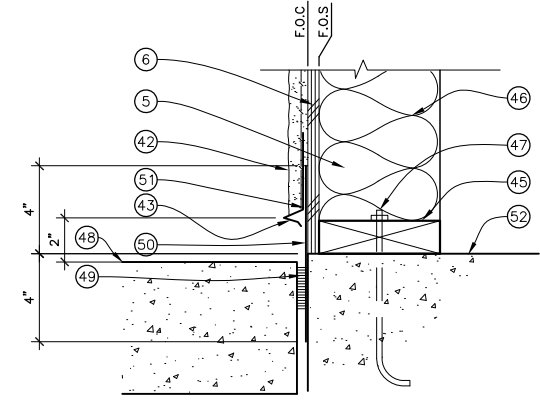
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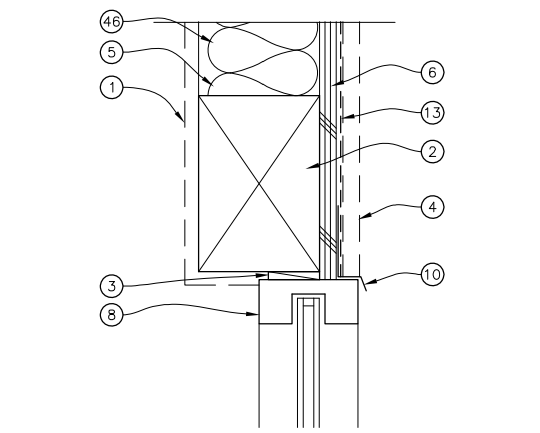
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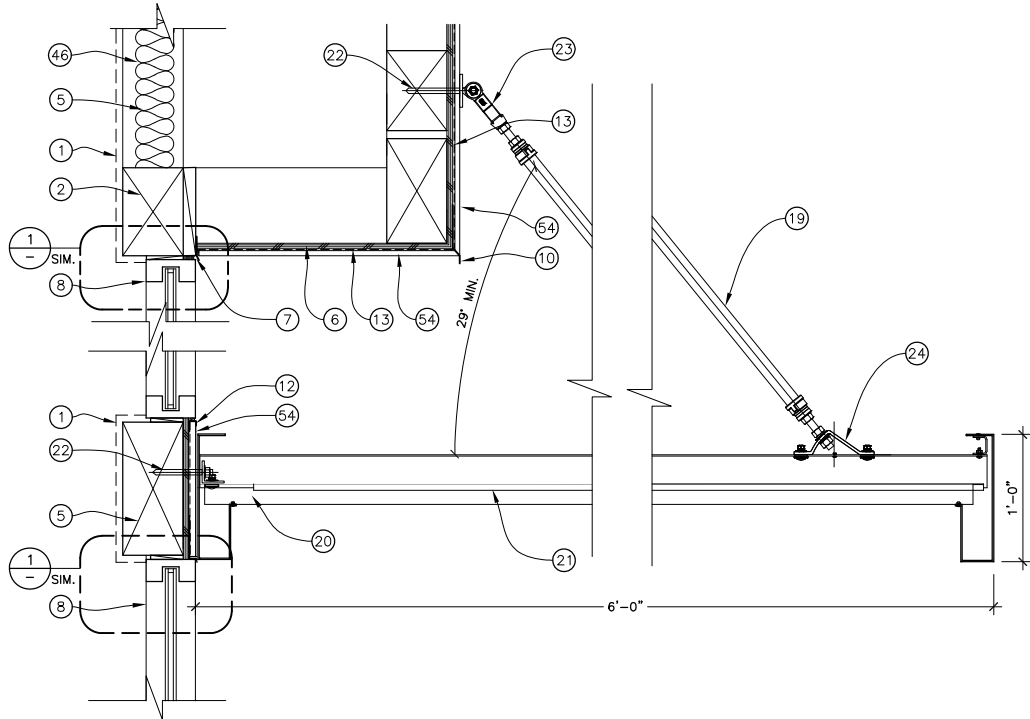
7 ROOF DRAIN AND OVERFLOW
N.T.S.



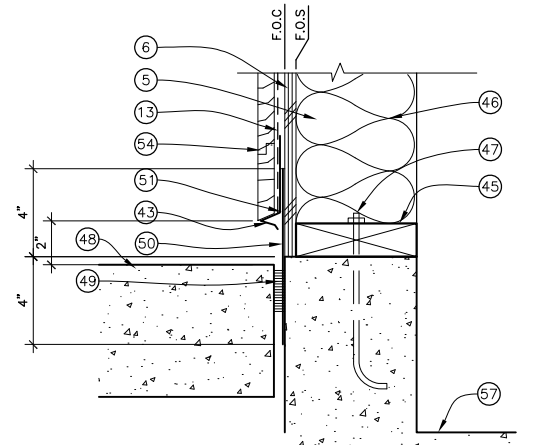
4 STUD WALL SILL AT PAVING
SCALE 3" : 1'-0"



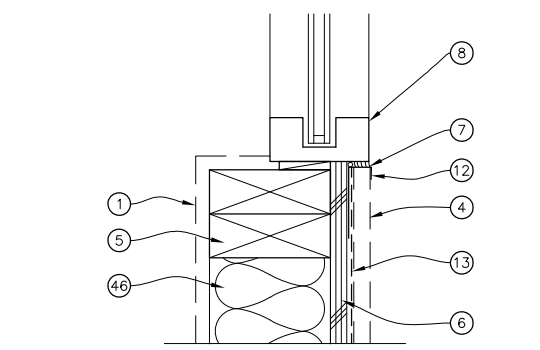
1 WINDOW/DOOR HEAD/JAMB
SCALE 3" : 1'-0"



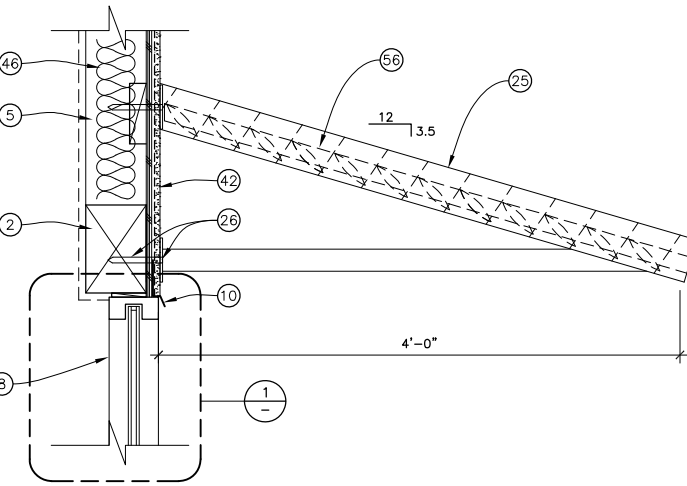
8 FLAT SOLID AWNING
SCALE 1/2" : 1'-0"



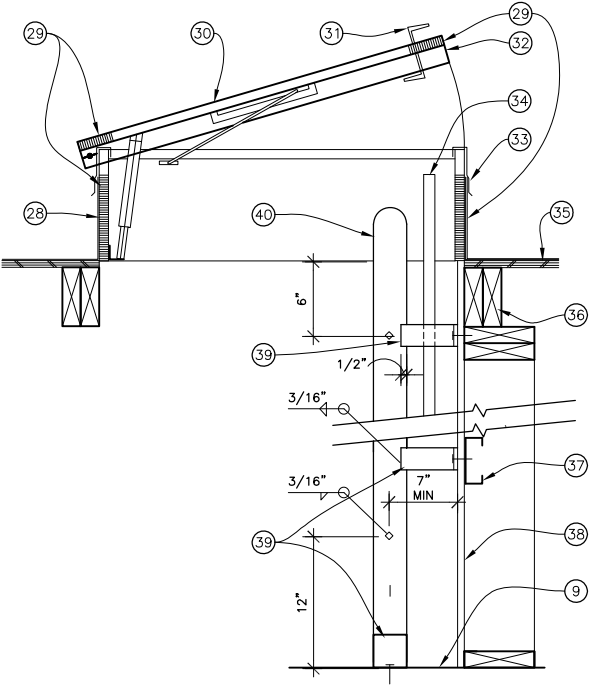
5 STUD WALL WITH WOOD SIDING SILL AT PAVING
SCALE 3" : 1'-0"



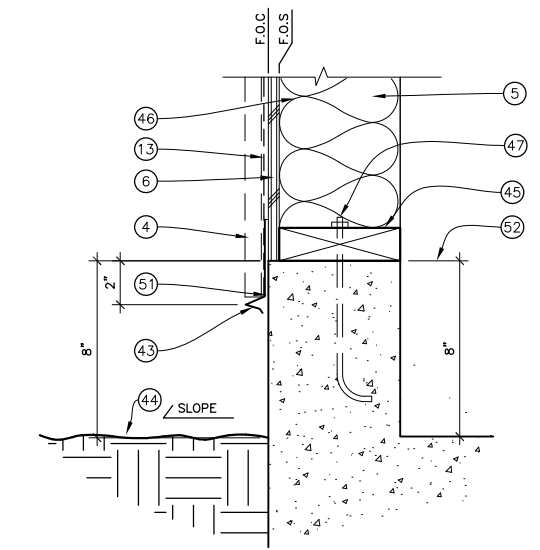
2 WINDOW SILL
SCALE 3" : 1'-0"



9 SLOPED LOUVER AWNING
SCALE 1/2" : 1'-0"



6 ROOF HATCH
SCALE: 1/2" : 1'-0"

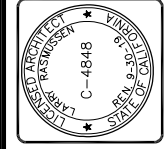


3 STUD WALL SILL AT GRADE
SCALE 3" : 1'-0"

NOTE LEGEND

- 1 FUTURE WALL FINISH.
- 2 HEADER. SEE STRUCTURAL DRAWINGS.
- 3 SHIM.
- 4 FINISH PLASTER OR WOOD SIDING. SEE ELEVATIONS A3.1.
- 5 WALL FRAMING. SEE STRUCTURAL DRAWINGS.
- 6 PLYWOOD SHEATHING, SEE STRUCTURAL DRAWINGS.
- 7 SEALANT.
- 8 ALUMINUM STOREFRONT.
- 9 FLOOR FINISH.
- 10 SHEET METAL FLASHING AND DRIP.
- 11 NOT USED.
- 12 SHEET METAL EDGE FLASHING.
- 13 WATER RESISTANT BARRIER, OVER LAP FLASHING.
- 14 ROOF AND OVERFLOW DRAINS WITH FLASHING CLAMP WITHIN 2" SUMP U.N.O., SEE PLUMBING DRAWINGS FOR TERMINATION OF LEADERS.
- 15 (2) LAYERS 3/4" PLYWOOD AT BOTTOM OF SUMP.
- 16 ROOF OR OVERFLOW DRAIN RECEIVER AND CLAMPING RING, PROVIDE 2" HIGH COLLAR AT OVERFLOW DRAIN.
- 17 #4 LEAD PAN WITHIN 2" DEEP SUMP.
- 18 ROOF FRAMING. SEE STRUCTURAL DETAILS.
- 19 HANGER ROD PER MANUFACTURER, WHERE OCCURS. SEE ELEVATIONS.
- 20 ALUMINUM INTERMEDIATE TROUGH PER MANUFACTURER.
- 21 ROLL FORMED ALUMINUM DECKING PER MANUFACTURER.
- 22 CANOPY BRACING TO WALL. SEE STRUCTURAL DRAWINGS.
- 23 DROP-FORGED STEEL CLEVIS PER MANUFACTURER, WHERE OCCURS. SEE ELEVATIONS.
- 24 ALUMINUM CLIP ANGLE PER MANUFACTURER, WHERE OCCURS. SEE ROOF PLAN.
- 25 4" AIRFLOW PREFABRICATED METAL AWNING BY BEAGLE ONE.
- 26 BRACKET PER MANUFACTURER. SEE STRUCTURAL DRAWINGS FOR WALL BRACING.
- 27 NOT USED.
- 28 RUN BASE SHEETS AND PLIES UP CANT AND UNDER CAP FLASHING.
- 29 1" RIGID FIBER INSULATION AND METAL LINER.
- 30 NEOPRENE SEAL ALL AROUND COVER.
- 31 SPRING LATCH WITH INSIDE AND OUTSIDE HANDLES AND PADLOCK HASP INSIDE.
- 32 1/2 GAUGE ALUMINUM COVER.
- 33 INTEGRAL CAP FLASHING.
- 34 LADDER SAFETY POST, STEEL, YELLOW POWDER COAT.
- 35 PLYWOOD ROOF SHEATHING.
- 36 TRIMMER OR HEADER JOIST. SEE STRUCTURAL DRAWINGS.
- 37 FRAMING. SEE STRUCTURAL DRAWINGS.
- 38 5/8" GYPSUM BOARD TYPE "X".
- 39 2" x 1/2" "U" SHAPED ATTACHMENT BRACKET. ANCHOR TO WALL. PROVIDE STEEL STUD AS REQUIRED. ANCHOR TO FLOOR WITH WEJ-IT SLEEVE ANCHORS (ASA I.C.B.O. 1621) 1/2" DIAMETER WITH MINIMUM 1" EMBEDMENT. FILLET WELD BRACKET ALL AROUND TO LADDER RAILS. LOCATE ONE BRACKET AT TOP AND BOTTOM OF LADDER, 8'-0" MAXIMUM DISTANCE BETWEEN.
- 40 ROOF ACCESS LADDER; 2" x 1/2" STEEL SIDE RAILS WITH 18" LONG 3/4" SQUARE RUNGS, FILLET WELD TO LADDER RAILS.
- 41 NOT USED.
- 42 7/8" PLASTER WITH METAL LATH.
- 43 GALVANIZED METAL WEEP SCREED.
- 44 PERIMETER FINISH GRADE, SLOPE MIN. 2% FOR FIRST 4 FEET.
- 45 2x PRESSURE TREATED SILL PLATE.
- 46 R-19 INSULATION ALL EXTERIOR WALLS.
- 47 ANCHOR BOLT, SEE STRUCTURAL DRAWINGS.
- 48 CONCRETE PAVING, SEE CIVIL DRAWINGS.
- 49 EXPANSION JOINT MATERIAL WITH SEALANT AT TOP.
- 50 8" LONG METAL FLASHING STRIP, EXTENDING 4" BELOW FINISH FLOOR AND 4" ABOVE WEEP SCREED.
- 51 CONTINUOUS SEALANT BEHIND WEEP SCREED.
- 52 CONCRETE SLAB FLOOR. SEE STRUCTURAL DRAWINGS.
- 53 3" FIBER CANT.
- 54 3/4" WOOD SIDING, SEE EXTERIOR ELEVATIONS.
- 55 NOT USED.
- 56 ALUMINUM CORRUGATED SOFFIT DECKING TO REPLACE LOUVERS AT 2 LOCATIONS, SEE ROOF PLAN A2.3.
- 57 8" HIGH CURB AT LANDSCAPE LOCATIONS.

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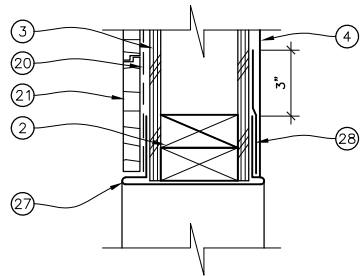
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PAD 2

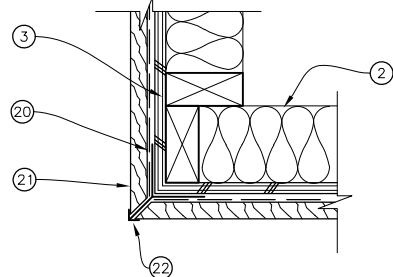
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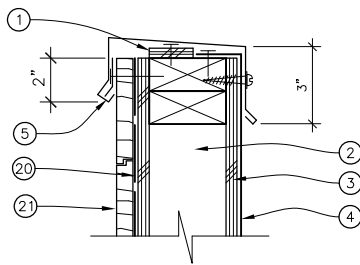
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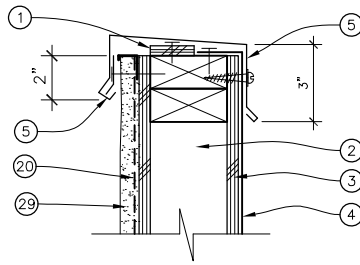
7 HEAD @ OPENING IN PARAPET WALL JAMB SIMILAR
SCALE 3" : 1'-0"



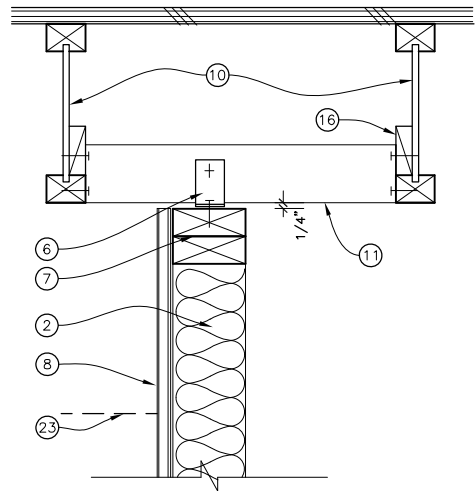
4 TRIM @ WOOD CORNER
SCALE 3" : 1'-0"



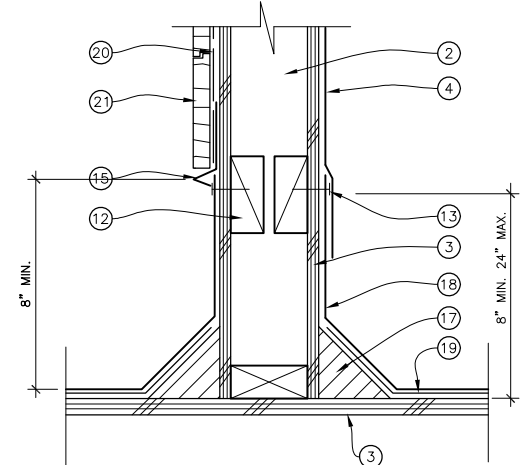
1 PARAPET CAP FLASHING
SCALE 3" : 1'-0"



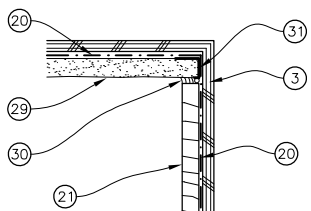
8 PARAPET CAP FLASHING
SCALE 3" : 1'-0"



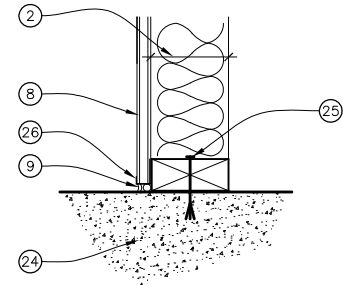
5 INTERIOR FULL HEIGHT PARTITION
SCALE N.T.S.



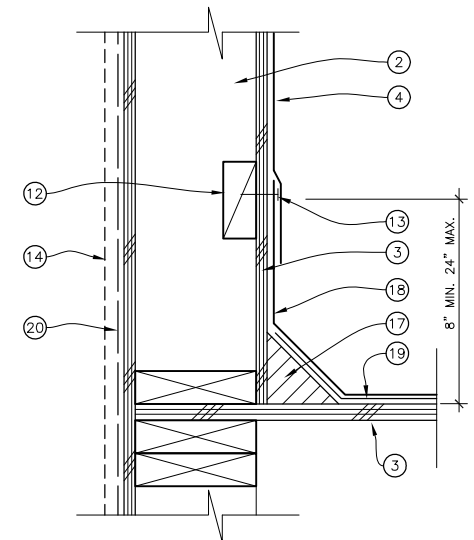
2 HIGH PARAPET BASE FLASHING
SCALE 3" : 1'-0"



9 WOOD AT PLASTER CORNER
SCALE 3" : 1'-0"



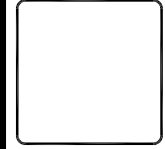
6 INTERIOR PARTITION
SCALE 3" : 1'-0"



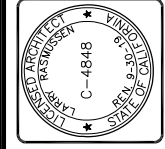
3 CANT/FLASHING AT PARAPET WALL
SCALE 3" : 1'-0"

NOTE LEGEND

- 1 SHIM STRIP TO GENERATE FLASHING SLOPE.
- 2 WALL FRAMING. SEE STRUCTURAL DRAWINGS.
- 3 PLYWOOD SHEATHING, SEE STRUCTURAL DRAWINGS.
- 4 MODIFIED BITUMEN CAP SHEET ON VERTICAL SURFACE.
- 5 24 GA SHEET METAL FLASHING. AT PARAPET, PAINT TO MATCH ADJACENT PARAPET WALL SURFACE.
- 6 SIMPSON "STC" CLIP AT MAX 4'-0" O.C. SEE STRUCTURAL DRAWINGS.
- 7 DOUBLE 2x TOP PLATE.
- 8 5/8" TYPE "X" GYPSUM BOARD.
- 9 SEALANT OVER BACKING ROD.
- 10 ROOF FRAMING, SEE STRUCTURAL DRAWINGS.
- 11 2x BLOCKING AT EACH "STC" CLIP WITH (2) 16d EACH END, SEE STRUCTURAL DRAWINGS.
- 12 2x NAILER
- 13 FASTENER AT 8" O.C.
- 14 FINISH PLASTER WHERE OCCURS. SEE EXTERIOR ELEVATIONS A3.1 & A3.2
- 15 METAL WEEP SCREED.
- 16 1x NAILER
- 17 3" FIBER CANT.
- 18 MODIFIED BITUMEN BASE SYSTEM SET IN FLASHING CEMENT.
- 19 BASE FLASHING SYSTEM SET IN FLASHING CEMENT.
- 20 WATER PROOF BARRIER, OVERLAP FLASHING.
- 21 3/4" WOOD SIDING, SEE EXTERIOR ELEVATIONS.
- 22 CORNER TRIM; BY FLANNERY #W POC75-375 MILL FINISH. PAINT SHERWIN WILLIAMS SW7019 "GAUNTLET GREY"
- 23 FINISH CEILING WERE OCCURS.
- 24 CONCRETE SLAB. SEE STRUCTURAL DRAWINGS.
- 25 2x P.T.D.F. SILL WITH HILTI DN 72536 0.145" SHOT PINS (LAR #2582 ICBO #1290) AT 32" O.C.
- 26 GYPSUM BOARD J-MOULD EDGE.
- 27 24 GAUGE SHEET METAL FLASHING, PAINT TO MATCH CAP FLASHING.
- 28 W.P. GRACE "ICE AND WATER" SHIELD, OVERLAP FLASHING.
- 29 7/8" EXTERIOR PLASTER OVER METAL LATH AND PAPER.
- 30 SEALANT OVER BACK-ROD.
- 31 METAL J-MOLD FLASHING.



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DETAILS	
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**RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA**

Sheet No.
A8.4

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

Division 5.1 - PLANNING AND DESIGN

SECTION 5.101 GENERAL

5.101.1 Scope. The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 5.102 DEFINITIONS

5.102.1 Definitions. The following terms are defined in Chapter 2.
CUTOFF LUMINAIRES.
LOW-EMITTING AND FUEL EFFICIENT VEHICLES.
NEIGHBORHOOD ELECTRIC VEHICLE (NEV).
TENANT-OCCUPANTS.
VANPOOL VEHICLE.
ZEV.

SECTION 5.103 SITE SELECTION (Reserved)

SECTION 5.104 SITE PRESERVATION (Reserved)

SECTION 5.105 DECONSTRUCTION AND REUSE OF EXISTING STRUCTURES (Reserved)

SECTION 5.106 SITE DEVELOPMENT

5.106.1 Storm water pollution prevention. Newly constructed projects and additions which disturb less than one acre of land shall prevent the pollution of stormwater runoff from the construction activities through one or more of the following measures:

- 5.106.1.1 Local ordinances. Comply with a lawfully enacted stormwater management and/or erosion control ordinance.
- 5.106.1.2 Best management practices (BMP). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMP:
 - Soil loss BMP that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Scheduling construction activity.
 - Preservation of natural features, vegetation and soil.
 - Drainage swales or lined ditches to control stormwater flow.
 - Mulching or hydroseeding to stabilize disturbed soils.
 - Erosion control to protect slopes.
 - Perimeter sediment control (perimeter silt fence, fiber rolls).
 - Sediment trap or sediment basin to retain sediment on site.
 - Stabilized construction exits.
 - Wind erosion control.
 - Other soil loss BMP acceptable to the enforcing agency.
 - Good housekeeping BMP to manage construction equipment, materials and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following:
 - Material handling and waste management.
 - Building materials stockpile management.
 - Management of washout areas (concrete, paints, stucco, etc.).
 - Control of vehicle/equipment fueling to contractor's staging area.
 - Vehicle and equipment cleaning performed off site.
 - Spill prevention and control.
 - Other housekeeping BMP acceptable to the enforcing agency.

5.106.4.1.1 Short-term bicycle parking. If the new project or addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to visitors-by, for 5 percent of new visitor motorcycle, vehicle parking spaces being added, with a minimum of one two-bike capacity rack.

5.106.4.1.2 Long-term bicycle parking. For new buildings with 10 or more tenant-occupants or for additions or alterations that add 10 or more tenant-occupant parking spaces, provide secure bicycle parking for 5 percent of the tenant-vehicle parking spaces being added, with a minimum of one space. Acceptable parking facilities shall be convenient from the street and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles.
- Lockable bicycle rooms with permanently anchored racks or
- Lockable, permanently anchored bicycle lockers.

Note: Additional information on recommended bicycle accommodations may be obtained from Sacramento Area Bicycle Advocates.

5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleges, comply with Sections 5.106.4.2.1 and 5.106.4.2.2.

5.106.4.2.1 Student bicycle parking. Provide permanently anchored bicycle racks conveniently accessed within a minimum of four two-bike capacity racks per new building.

5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle parking conveniently accessed with a minimum of two staff bicycle parking spaces per new building. Acceptable bicycle parking facilities shall be convenient from the street or staff parking areas and shall meet one of the following:

- Covered, lockable enclosures with permanently anchored racks for bicycles.
- Lockable bicycle rooms with permanently anchored racks or
- Lockable, permanently anchored bicycle lockers.

5.106.5.2 Designated parking for clean air vehicles. In new projects or additions or alterations that add 10 or more vehicle parking spaces, provide designated parking for any combination of low-shifting, fuel-efficient and carpool/van pool vehicles as follows:

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV CHARGING SPACES
0-9	0
10-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201 and over	At least 8 percent of total

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV CHARGING SPACES
0-9	0
10-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201 and over	At least 8 percent of total

5.106.5.2.1 Parking stall marking. Paint, in the paint used for stall striping the following characters such that the lower edge of the last word aligns with the end of the stall striping and is visible between a parked vehicle:

CLEAN AIR/
VANPOOL/EV

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces.

5.106.5.3 Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1 or Section 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment (EVSE). When EVSE(s) is/are installed, it shall be in accordance with the California Building Code, the California Electrical Code and as follows:

- 5.106.5.3.1 Single charging space requirements. [N] When only a single charging space is required per Table 5.106.5.3.3, a raceway is required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:
 - The type and location of the EVSE.
 - The raceway shall be capable of accommodating a 208/240-volt dedicated branch circuit.
 - The raceway shall not be less than trade size 1.".
 - The raceway shall originate at a service panel or a subpanel serving the area and shall terminate in close proximity to the proposed location of the charging equipment and into a listed suitable cabinet, box, enclosure or equivalent.
 - The service panel or subpanel shall have sufficient capacity to accommodate a minimum 40-ampere dedicated branch circuit for the future installation of the EVSE.
- 5.106.5.3.2 Multiple charging space requirements. [N] When multiple charging spaces are required per Table 5.106.5.3.3, a raceway is/are required to be installed at the time of construction and shall be installed in accordance with the California Electrical Code. Construction plans and specifications shall include, but are not limited to, the following:
 - The type and location of the EVSE.
 - The raceway(s) shall originate at a service panel or a subpanel(s) serving the area, and shall terminate in close proximity to the proposed location of the charging equipment and into listed suitable cabinet(s), box(es), enclosure(s) or equivalent.
 - Plan design shall be based upon 40-ampere minimum branch circuit(s).
 - Electrical calculations shall substantiate the design of the electrical system, to include the ratings of equipment and any on-site distribution transformers and have sufficient capacity to simultaneously charge all required EVs at its full rated amperage.
 - The service panel or subpanel(s) shall have sufficient capacity to accommodate the required number of dedicated branch circuit(s) for the future installation of the EVSE.

5.106.5.3.3 EV charging space calculation. [N] Table 5.106.5.3.3 shall be used to determine if single or multiple charging space requirements apply for the future installation of EVSE.

Exceptions: On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure is not feasible based upon one or more of the following conditions:

- Where there is insufficient electrical supply.
- Where there is evidence available to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 5.106.5.3, may adversely impact the construction cost of the project.

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV CHARGING SPACES
0-9	0
10-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201 and over	6 percent of total ¹

5.106.8 Light pollution reduction. [N] Outdoor lighting systems shall be designed and installed to comply with the following:

- The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code and
- Backlight, Uplight and Glare (BUG) ratings as defined in TM-15-1 and
- Allowable BUG ratings not exceeding those shown in Table 5.106.8.1 or, in compliance with a local ordinance lawfully enacted pursuant to Section 101.7, whichever is more stringent.

Exceptions: [N]

- Luminaires that qualify as exceptions in Section 140.7 of the California Energy Code.
- Emergency lighting.
- Building facade meeting the requirements in Table 140.7-B of the California Energy Code, Part 6.
- Custom lighting fixtures as allowed by the local enforcing agency, as permitted by Section 101.8 Alternative materials, designs and methods of construction.

Note: [N] See also California Building Code, Chapter 12, Section 1205.6 for college campus lighting requirements for parking facilities and walkways.

5.106.10 Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales.
- Water collection and disposal systems.
- French drains.
- Water retention gardens.
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

TABLE 5.106.8 [N]
MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS^{1,2}

ALLOWABLE RATING	LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZONE 4
Maximum Allowable Backlight Rating ³				
Luminaire greater than 2 mounting heights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 - 2 MH from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 - 1 MH from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	B0	B0	B1	B2
Maximum Allowable Uplight Rating ⁴				
For area lighting ⁵	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
Maximum Allowable Glare Rating ⁶				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1 - 2 MH from property line	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 - 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1

- IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
- For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
- If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.
- General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet E-vale limits for "all other outdoor lighting".
- If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

5.303.3.4 Faucets and fountains.

5.303.3.4.1 Nonresidential lavatory faucets. Lavatory faucets shall have a maximum flow rate of not more than 0.5 gallons per minute at 60 psi.

5.303.3.4.2 Kitchen faucets. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate but not to exceed 2.8 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

5.303.3.4.3 Wash fountains. Wash fountains shall have a maximum flow rate of not more than 1.8 gallons per minute/20 (two) square (inches) at 60 psi.

5.303.3.4.4 Metering faucets. Metering faucets shall not deliver more than 0.20 gallons per cycle.

5.303.3.4.5 Metering faucets for wash fountains. Metering faucets for wash fountains shall have a maximum flow rate of not more than 0.20 gallons per cycle/20 (rim) square (inches) at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

5.303.4 Commercial kitchen equipment.

5.303.4.1 Food waste disposers. Disposers shall either modulate the flow of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/noise) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.

Note: This code section does not affect local jurisdiction authority to prohibit or require disposer installation.

5.303.5 Areas of addition or alteration. For those occupancies within the authority of the California Building Standards Commission as specified in Section 101, the provisions of Sections 5.303.3 and 5.303.4 shall apply to new fixtures, additions or areas of alteration to the building.

5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 170.1 of the California Plumbing Code and in Chapter 6 of this code.

5.304 Outdoor water use in landscape areas equal to or greater than 500 square feet. When water is used for new construction projects with an aggregate landscape area equal to or greater than 500 square feet requiring a building or landscape permit, plan check or design review, one of the following shall apply:

- A local water efficient landscape ordinance that is based on evidence in the record, at least as strict as with the California Plumbing Code and the updated model ordinance adopted by the Department of Water Resources (DWR) per Government Code Section 65595 (c).
 - The California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations.
- 5.304.2 Outdoor water use in rehabilitated landscape projects equal to or greater than 2,500 square feet.** Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 2,500 square feet requiring a building or landscape permit, plan check, or design review shall comply with Section 5.304.2, Item 1 or 2.
- 5.304.4 Outdoor water use in landscape areas of 2,500 square feet or less.** Any project with an aggregate landscape area of 2,500 square feet or less may comply with the performance requirements of MWELO or conform to the prescriptive measure contained in MWELO Appendix D.

5.304.5 Graywater or rainwater use in landscape areas. For projects using treated or untreated graywater or rainwater captured on site, any lot or parcel within the project that has less than 2,500 square feet of landscape and meets the lot or parcel landscape water requirement (Estimated Total Water Use) entirely with treated or untreated graywater or through stored rainwater captured on site is subject only to Appendix D Section (5).

Note:

- DWR's Model Water Efficient Landscape Ordinance, definitions and supporting documents are available at the following link: <http://water.ca.gov/wateruseefficiency/landscapeordnace/>
- A water budget calculator is available at the following link: <http://water.ca.gov/wateruseefficiency/landscapeordnace/>
- The MWELO prescriptive compliance measure Appendix D may be found at the following link: <http://water.ca.gov/wateruseefficiency/landscapeordnace/>. In addition, a copy of MWELO Appendix D may be found in Chapter 8 of this code.

5.304.6 Outdoor potable water use in landscape areas [DSA-SS]. For public schools and community colleges, landscape projects as described in Sections 5.304.6.1 and 5.304.6.2 shall comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO) commencing with Section 490 of Chapter 2.7, Division 2, Title 23, California Code of Regulations, except that the evapotranspiration adjustment factor (ETAF) shall be 0.65 with an additional water allowance for special landscape areas (SLA) of 0.35.

Exception: Any project with an aggregate landscape area of 2,500 square feet or less may comply with the prescriptive measures contained in Appendix D of the MWELO.

5.304.6.1 Newly constructed landscapes. [DSA-SS] New construction projects with an aggregate landscape area equal to or greater than 500 square feet.

5.304.6.2 Rehabilitated landscapes. [DSA-SS] Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 1,200 square feet.

5.303.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

5.303.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

**SECTION 5.305
WATER REUSE SYSTEMS
(Reserved)**

**CHAPTER 5
NONRESIDENTIAL MANDATORY MEASURES**

Division 5.4 - MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

SECTION 5.401 GENERAL

5.401.1 Scope. The provisions of this chapter shall outline means of achieving material conservation and resource efficiency through protection of buildings from exterior moisture, construction waste diversion, employment of techniques to reduce pollution through recycling of materials, and building commissioning or testing and adjusting.

5.402.1 Definitions. The following terms are defined in Chapter 2.

ADJUST.
BALANCE.
BUILDING COMMISSIONING.
ORGANIC WASTE.
TEST.

SECTION 5.403 FOUNDATION SYSTEMS (Reserved)

SECTION 5.404 EFFICIENT FRAMING TECHNIQUES (Reserved)

SECTION 5.405 MATERIAL SOURCES (Reserved)

SECTION 5.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE (Reserved)

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 Weather protection. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 (Weather Protection) and California Energy Code Section 150, (Mandatory Features and Devices), manufacturer's installation instructions or local ordinance, whichever is more stringent.

5.407.2 Moisture control. Employ moisture control measures by the following methods:

- 5.407.2.1 Sprinklers. Design and maintain landscape irrigation systems to prevent spray on structures.
- 5.407.2.2 Entries and openings. Design exterior entries and/or openings to prevent water intrusion into buildings as follows:
 - 5.407.2.2.1 Exterior door protection. Primary exterior entries shall be covered to prevent water intrusion by using nonabsorbent floor and wall finishes within at least 2 feet around and perpendicular to such openings plus at least one of the following:
 - An installed overhang of at least 4 feet in depth.
 - The door is protected by a roof overhang at least 4 feet in depth.
 - The door is recessed at least 4 feet.
 - Other methods which provide equivalent protection.
 - 5.407.2.2.2 Flashing. Install flashings integrated with a drainage plane.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the material generated from construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that:

- Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale.
- Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
- Identifies diversion facilities where construction and demolition waste material collected will be taken.
- Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.

Note: The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.

Exceptions to Sections 5.408.1.1 and 5.408.1.2:

- Excavated soil and land-clearing debris.
- Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.
- Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65 percent minimum requirement as specified by the enforcing agency.

5.408.1.4 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1 through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

Note:

- Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at <http://www.bsc.ca.gov/Home/CALGreen.aspx> may be used to assist in documenting compliance with the waste management plan.
- Mixed construction and demolition debris (C&D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

5.408.2 Universal waste. [A] Additions and alterations to a building or tenant space that meet the coding provisions in Section 301.3 for nonresidential additions and alterations, shall require verification that Universal Waste Items such as fluorescent lamps and ballast and mercury containing thermostats as well as other California prohibited Universal Waste materials are disposed of properly and are diverted from landfills. A list of prohibited Universal Waste materials shall be included in the construction documents.

Note: Refer to the Universal Waste Rule link at http://www.dtsc.ca.gov/LawsRegsPolicies/Regs/upw/oc/06ARA_REGS_UWR_FinalText.pdf

5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on-site until the storage site is developed.

Exception: Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.

Notes:

- If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow his direction for recycling or disposal of the material. (www.cdffa.ca.gov/cecc/county/county_contacts.html)
- For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. (www.cdffa.ca.gov/)

SECTION 5.409 LIFE CYCLE ASSESSMENT (Reserved)

SECTION 5.410 BUILDING MAINTENANCE AND OPERATION

5.410.1 Recycling by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance. If more restrictive:

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code 42649.82 (a)(2)(A) at seq. shall also be exempt from the organic waste portion of this section.

5.410.1.1 Additions. All additions conducted within a 12-month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site.

Exception: Additions within a tenant space resulting in less than 30-percent increase in the tenant space floor area.

5.410.1.2 Sample ordinance. Space allocation for recycling area shall comply with Chapter 18, Part 3, Division 30 of the *Public Resources Code*. Chapter 18 is known as the California Solid Waste Recycle and Recycling Access Act of 1991 (Act).

Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.

5.410.2 Commissioning. [N] For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction phases of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. All occupancies other than 1-occupancies and L-occupancies shall comply with the California Energy Code as prescribed in California Energy Code Section 120.8. For 1-occupancies that are not regulated by OSHPD or for L-occupancies and Occupancies that are not regulated by the California Energy Code Section 100.0, Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply. Commissioning requirements shall include:

- Owner's or owner representative's project requirements.
- Basics of design.
- Commissioning measures shown in the construction documents.
- Commissioning plan.
- Functional performance testing.
- Documentation and training.
- Commissioning report.

Exceptions:

- Unconditioned warehouse of any size.
- A less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouse.
- Tenant improvements less than 10,000 square feet as described in Section 303.1.1.
- Open parking garages of any size, or open parking garage areas, of any size, within a structure.

Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and/or air conditioning.

Informational Notes:

- IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available at the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 does not certify individuals to conduct functional performance tests or to adjust and balance systems.
- Functional performance testing or heating, ventilation, air conditioning systems and lighting systems must be performed in compliance with the California Energy Code.

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 2

THIS SHEET WAS ORIGINALLY PRINTED ON A 24x36" SHEET.

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procedures, basic troubleshooting, recommended maintenance requirements, site events log.

- Major systems.
- Site equipment inventory and maintenance notes.
- A copy of verifications required by the enforcing agency or this code.
- Other resources and documentation, if applicable.

5.410.2.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning report and shall include the following:

- System/equipment overview (what it is, what it does and with what other systems and/or equipment it interfaces).
- Aerated adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative.

5.410.4 Testing and adjusting. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

5.410.4.1 (Reserved)

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be tested for testing and adjusting shall include, as applicable to the project:

- HVAC systems and controls.
- Indoor and outdoor lighting and controls.
- Water heating systems.
- Renewable energy systems.
- Landscape irrigation systems.
- Water reuse systems.

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, balance the system in accordance with the procedures defined by the Testing, Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of guarantees/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CGC, Title 8, Section 3142, and other related regulations.

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.

CHAPTER 5 NONRESIDENTIAL MANDATORY MEASURES

Division 5.5 - ENVIRONMENTAL QUALITY

SECTION 5.501 GENERAL

5.501.1 Scope. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors.

SECTION 5.502 DEFINITIONS

5.502.1 Definitions. The following terms are defined in Chapter 2.

ARTERIAL HIGHWAY.
A-WEIGHTED SOUND LEVEL (dBA).
1 BTU/HOUR.
COMMUNITY NOISE EQUIVALENT LEVEL (CNEL).
COMPOSITE WOOD PRODUCTS.
DAY-NIGHT AVERAGE SOUND LEVEL (L_{dn}).
DECIBEL (dB).
ENERGY EQUIVALENT (NOISE) LEVEL (L_{eq}).
EXPRESSWAY.
FREEWAY.
GLOBAL WARMING POTENTIAL (GWP).
GLOBAL WARMING POTENTIAL VALUE (GWP VALUE).
HIGH-GWP REFRIGERANT.
LONG RADIUS ELBOW.
LOW-GWP REFRIGERANT.
MERY.
MAXIMUM INCREMENTAL REACTIVITY (MIR).
PRODUCT-WEIGHTED MIR (PWMMIR).
PSIG.
REACTIVE ORGANIC COMPOUND (ROC).
SCHRADER ACCESS VALVES.
SHORT RADIUS ELBOW.
SUPERMARKET.
VOC.

**SECTION 5.503
FIREPLACES**

5.503.1 Fireplaces. Install only a direct-vent sealed-combustion unit or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 1 Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.

5.503.1.1 Woodstoves. Woodstove and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

**SECTION 5.504
POLYURTHANE CONTROL**

5.504.1 Temporary ventilation. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an overall efficiency of 30 percent based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system.

5.504.4 Finish material pollutant control. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the following standards:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in subsection 2, below.
- Aerated adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

TABLE 5.504.4.1
ADHESIVE VOC LIMIT^{1,2}
Less Water and Less Exempt Compounds in Grams Per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesive not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1166, <https://www.scarb.ca.gov/DRDB/SC-CURRHTM/R1166.PDF>.

TABLE 5.504.4.2
SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	250
Nonporous	775
Porous	300
Modified bituminous	800
Marine deck	760
Other	750

Note: For additional information regarding methods to measure the VOC content specified in these tables, see South Coast Air Quality Management District Rule 1168.

5.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ABB Architectural Coatings Suggested Control Measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in Subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 5.504.4.3 shall apply.

5.504.4.3.1 Aerosol paints and coatings. Aerosol paints and coatings shall meet the PWMMIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94507, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the Percent VOC by weight of product limits of Regulation 8 Rule 49.

5.504.4.3.2 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

- Manufacturer's product specification.
- Field verification of on-site product containers.

TABLE 5.504.4.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{1,2}
Grams of VOC per Liter of Coating,
Less Water and Less Exempt Compounds

COATING CATEGORY	CURRENT LIMIT
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	330
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ³	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	450
Pretreatment wash primers	250
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	300
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	550
Clear	730
Opaque	550
Specialty primers, sealers and under-coaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and the refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.

2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

5.504.4.4 Carpet systems. All carpet installed in the building interior shall meet at least one of the following testing and product requirements:

- Carpet and Rug Institute's Green Label Plus Program.
- Compliant with the VOC-emission limits and testing requirements specified in the California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1, February 2010 (also known as CDPH: Standard Method V1.1 or Specification 01350);
- NSF/ANSI 140 at the low level or higher;
- Scientific Certification Systems Sustainable Choice; or
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for BQ 7.0 and BQ 7.1 (formerly EQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database.

5.504.4.4.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

5.504.4.4.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 5.504.4.1.

5.504.4.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the ABB Air Toxics Control Measure (ATCM) for Composite Wood (17 CCR 93120 et seq.) Those materials not exempted under the ATCM must meet the specified emission limits, as shown in Table 5.504.4.5.

5.504.4.5.1 Early compliance. Reserved.

5.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.
- Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
- Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 35 standards.
- Other methods acceptable to the enforcing agency.

TABLE 5.504.4.5
FORMALDEHYDE LIMITS¹
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of 5/16 inch (8 mm).

5.504.6 Resilient flooring systems. For 80 percent of floor areas receiving resilient flooring, installed resilient flooring shall meet at least one of the following:

- Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program;
- Compliance with the VOC-emission limits and testing requirements specified in the California Department of Public Health's 2010 Standard Method for the Testing and Evaluation Chambers, Version 1.1, February 2010;
- Compliant with the Collaborative for High Performance Schools California (CA-CHPS) Criteria Interpretation for BQ 7.0 and BQ 7.1 (formerly BQ 2.2) dated July 2012 and listed in the CHPS High Performance Product Database; or
- Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools Program).

5.504.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.

5.504.6.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.

Exceptions:

- An ASHRAE 10-percent to 15-percent efficiency filter shall be permitted for an HVAC unit meeting the 2013 California Energy Code having 60,000 Btu/h or less capacity per fan coil, if the energy use of the air delivery system is 0.4 W/ft² or less at design air flow.
- Existing mechanical equipment.

5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.

5.504.7 Environmental tobacco smoke (ETS) control. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, cool air intakes and operable windows and within the building as already prohibited by other laws or regulations or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever is more stringent. When ordinances, regulations or policies are not in place, post signage to inform building occupants of the prohibitions.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CBC, Title 24, Part 2, Sections 1203 (Ventilation) and Chapter 11 (Exterior Walls). For additional measures not applicable to low-rise residential occupancies, see Section 5.407.2 of this code.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 Outside air delivery. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the 2013 California Energy Code, or the applicable local code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8.

5.506.2 Carbon dioxide (CO2) monitoring. For buildings or additions equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the 2013 California Energy Code, Section 120.1(c)(4).

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 Acoustical control. Employ building assemblies and components with Sound Transmission Class (STC) plus determined in accordance with ASTM E90 and ASTM E413 or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E1133, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.

Exception: (DSA-SS) For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.

5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-felling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:

- Within the 65 CNEL noise contour of an airport.

Exceptions:

- L_{eq} or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICLUZ) plan.
- L_{eq} or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element.

- Within the 65 CNEL or L_{eq} noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan.

5.507.4.1.1 Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L_{eq} 1-hr during any hour of operation shall have building, addition or alteration exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).

5.507.4.2 Performance method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment at or below exterior noise that does not exceed an hourly equivalent noise level (L_{eq} 1hr) of 60 dBA in occupied areas during any hour of operation.

5.507.4.2.1 Site features. Exterior features such as sound walls or earth berms may be utilized as appropriate to the building, addition or alteration project to mitigate sound migration to the interior.

5.507.4.2.2 Documentation of compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by professional approval by the architect or engineer of record.

5.507.4.3 Interior sound transmission. Wall and floor/ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do not contain CFCs.

5.508.1.2 Halons. Install HVAC, refrigeration and fire suppression equipment that do not contain Halons.

5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or

freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities.

Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO2), and potentially other refrigerants.

5.508.1.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigeration systems except as noted below.

5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.

5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.

5.508.2.1.2.1 Anchorage. One-fourth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.

5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.

Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's recommendations.

5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of long radius elbows.

5.508.2.2 Valves. Valves and fittings shall comply with the California Mechanical Code and as follows.

5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall be installed between the outlet of the vessel and the inlet of the pressure relief valve.

5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall be installed in the space between the rupture disc and the relief valve inlet to indicate a static rupture or discharge of the relief valve.

5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.

5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.

5.508.2.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.

5.508.2.2.2.2.1 Chain testers. Chain testers to fit over the stem are required for valves designed to have seal caps.

Exception: Valves with seal caps that are not removed from the valve during stem operation.

5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel, or be coated to prevent corrosion from these substances.

5.508.2.3.1 Coil coatings. Consideration shall be given to the heat transfer efficiency of coil coatings to maximize energy efficiency.

5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted with a device that indicates the level of refrigerant in the receiver.

5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and charging.

5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and appropriate tracer gas to bring system pressure up to 300 psig minimum.

5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same gauge.

5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more than a +/- one-pound pressure change from 300 psig, measured with the same gauge.

5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to

The Planned Development Permit Amendment also pertains to the removal of the Architectural Theme Criteria contained within PD-188. It is not anticipated that this will have a dramatic architectural effect on the shopping center.

The intent of the Architectural Theme Criteria was to ensure that the shopping center was developed in an aesthetically compatible manner, where all buildings and landscaping contain similar building materials, colors, and textures. Nonetheless, the applicability of the Criteria is questionable as the Shopping Center has been developed with several different architectural styles over the years with each Pad Building having a separate style when compared to the primary original buildings. This departure from a unified design was enhanced with the approval of the Chokoi-A development and Wino facade remodel. Additionally, staff and the applicant have not been able to determine when or if the Architectural Theme Criteria ever went back to the Design Review Committee; therefore, it is unknown if they were ever formally approved. However, all projects, including those within the Center, have been and will continue to undergo review consistent with the City's Design Review Procedure (SBMC Chapter 24.546), and evaluated using Citywide Design Guidelines. For example, Design Review Finding No. 3 (per SBMC Sec. 24.545.100) focuses on architectural compatibility, which serves a similar purpose and intent of the original Architectural Theme Criteria.

On numerous occasions (November 4, 2016, April 6, 2016, January 4, 2017, 7 May 17, 2017 & July 19, 2017), the Design Review Committee voiced their support to rescind the center's Architectural Theme Criteria and made a motion on July 19, 2017 recommending the Planning Commission approve the removal of the Architectural Theme Criteria.

4. Required Finding: "The overall project reflects a high level of development and design quality that will enhance and benefit the city as a whole," per San Buenaventura Municipal Code Section 24.525.070 (f).

The Design Review Committee (DRC) reviewed and approved the proposed project on May 17, 2017 and found that the project reflected a high level of development and design quality that will enhance and benefit the city as a whole since it conforms to the 1997 Citywide Design Guidelines, will allow for the expansion of commercial space, and intersects the use of the land.

The DRC also forwarded a recommendation of approval of the project to the Planning Commission as part of their May 17, 2017 motion because of these reasons.

make an economic investment aimed at improving the function and overall value of the existing commercial site.

SECTION 3: California Environmental Quality Act

10. The proposal is Categorical Exempt from the provisions of the California Environmental Quality Act (CEQA), as provided under Sections 15301 (Class 1, Existing Facilities), 15303 (Class 3, New Construction or Conversion of Small Structures), 15304 (Class 4, Minor Alterations to Land), and 15311 (Class 11, Accessory Structures) of the CEQA Guidelines, as the project consists of the construction of two (2) new pad buildings (one 1,827-square feet and the other 5,810-square feet), a new drive through bank ATM, a new parking lot, and new landscaping, hardscape, and circulation improvements throughout. Therefore, no further environmental review is required. The exceptions to the categorical exemptions pursuant to Section 15300.2 of the CEQA Guidelines are:

(a) Location. Classes 3, 4, 6, 8, and 11 are qualified by consideration of where the project is to be located - a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, properly mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The project site is located within an existing urban commercial shopping center surrounded by commercial and industrial uses. The proposed project would not create impacts to sensitive wildlife or habitat. Therefore, the project will have no impact on an environmental resource of hazardous or critical concern.

(b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

The proposed two (2) new pad buildings (one 5,810-square feet and the other 1,827-square feet), drive through bank ATM, new parking lot, and landscaping, hardscape, and circulation improvements are consistent with the General Plan and Zoning, and consist of improvements to an existing shopping center. Any projects requiring discretionary approval would be analyzed with the General Plan for consistency and CEQA for any potential impacts. Therefore the project will have no significant cumulative impact.

(c) Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

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linkage to Telephone Road from the anchor stores has also been changed so that it now parallels the primary entrance into the shopping center. This design provides a more intuitive walking path into the heart of the shopping center and helps create a more predictable traffic flow pattern. Additionally, the design incorporates pedestrian access and connections from the public right-of-way to buildings throughout the site and provides enhanced internal connections that were previously missing by installing a new comprehensive pedestrian path of travel consisting of new sidewalks and crosswalks.

Rescinding the Architectural Theme Guidelines from the original approval would not result in an increase in the demand for water, sewer and other utilities at this location because the Guidelines intent was to ensure the shopping center was developed in an aesthetically compatible manner.

Therefore the project will be served by adequate water, sewer, public utilities, and services and by adequate vehicular and pedestrian access, and will not be detrimental to the public health, safety and welfare.

3. Required Finding: "New buildings or structures related to the project are compatible with the scale, mass, bulk, and orientation of buildings and structures in the surrounding vicinity," per San Buenaventura Municipal Code Section 24.525.070 (g).

All reasonable design efforts have been made to ensure the proposed development is compatible with the scale, mass, bulk and orientation of structures in the vicinity. The proposed new pad buildings consist of a one and a half story building with a massing of a one to one and a half story building, which match the surrounding buildings and the rest of the shopping center.

The site planning and architectural design of the proposed development was reviewed by the Design Review Committee (DRC) on May 17, 2017 and found to be compatible with the character of the surrounding neighborhood. Moreover, DRC found the proposed project is exempt in a manner that is compatible with the site, scale, and appearance of the adjacent neighborhood, and by reducing the front setback the new pad buildings will be consistent with the City's continued movement to a more urban massing typology.

DRC found the proposed project complies with the Citywide Design Guidelines because the new buildings are of similar scale and mass of the surrounding buildings, and each provides multiple articulated planes in their facades as well as in the parapet line. Overall, the proposed buildings would be compatible with and enhance the appearance of the Arundel Community, and would not result in development that is substantially different or unique with regard to bulk, mass and height than that which exists in the area.

limitations on other properties in the same vicinity or zone. The base CPD zone requires a front yard setback of only 20-feet, but the Tract 2776 Special Development Criteria is much more restrictive, requiring a 50-foot setback from street property lines. If the Pad buildings were developed solely under the CPD zone standards, Pad Building I would not trigger a variance since it is 38-feet from the property line, and Pad Building II would only require a variance for a 2-foot reduction. Other CPD properties and shopping centers within the Main Street and Telephone Road corridors do not have the same 50-foot front setback restriction, instead relying primarily on the base zone setback standards.

Moreover, the Concurrent Minor Variance for a reduced front setback for the two pad buildings was considered and supported by the DRC as better site design than compliance with the setback standards established by Tract 2776-Special Development Criteria, and being compatible with the City's continued movement to a more urban massing typology, bringing buildings closer to front setbacks to activate street frontages, while still maintaining adequate landscaping, building orientation and functional use of pedestrian and vehicular access within the shopping center.

Parking Setback Reduction

Approval of the Concurrent Minor Variance for a parking setback reduction for Pad Building I's parking area does not grant a special privilege inconsistent with the limitations on other properties in the same vicinity or zone. SBMC Sec. 24.415.100(f) identifies that a landscape strip a minimum of ten feet wide shall be provided along the property lines adjacent to any public or private street; but the Tract 2776 Special Development Criteria is more restrictive with this setback at 15-feet. If Pad Building I's parking area was developed solely under the SBMC standards, the parking area would not trigger a variance since it is 12-feet from the property line or two feet more than the SBMC minimum landscape width. Other CPD properties and shopping centers within the Main Street and Telephone Road corridors do not have the same 15-foot front setback restriction, instead relying primarily on the SBMC setback standards.

While placing parking closer to the public right-of-way is generally not supported by staff or the Design Review Committee, the unique topography of the site helps to screen this encroachment since the adjacent intersection and public sidewalk are at a higher elevation than the parking area. Additionally the DRC reviewed the proposed landscape plans on May 17, 2017 and found that the landscaping will provide additional screening of the parking area at the corner.

9. Required Finding: "Approval of the variance is not based on economic hardship" per Municipal Code Sec. 24.535.120 (1) (e).

Approval of the front setback and parking setback Concurrent Minor Variance are not based on economic hardship. Rather, it would require the developer to

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The proposed project implements this goal since it will help to expand the retail base of the city through the construction of new commercial buildings. It will also potentially help to stabilize the existing retail base since the facade remodel and landscape and hardscape improvements will enhance the look of the shopping center, potentially making it more desirable for the existing businesses to remain.

The site is in the Commercial Planned Development (CPD) zone and must comply with Special Development Criteria for Tract 2776. The CPD zone is primarily focused on retail, office dining establishments, and other professional business services, and the proposed project provides new commercial spaces that would consist of new dining establishments and potential retail stores which conform to the zone.

The project complies with a majority of the CPD zoning provisions and Tract 2776 Special Development Criteria as shown in Attachment C to the Staff Report, incorporated herein by reference, except for Front Setback and Parking Setback requirements, for which variances are sought. The project has also been conditioned to include 84 bicycle parking spaces and 84 carpool/vanpool parking spaces (Condition Nos. 22 & 23) as required by San Buenaventura Municipal Code (SBMC) Chapter 24.415 and will undergo Confirmation of Details by the Design Review Committee. The project was reviewed by the Design Review Committee, which supported rescinding the Architectural Theme Guidelines for Tract 2776 and granting variances. While the proposed front setback reduction for both proposed pad buildings deviates from the required 50-foot setback requirement, it would be consistent with the City's continued movement to a more urban massing typology, bringing buildings closer to front setbacks to activate street frontages.

2. Required Finding: "The proposed project will be served by adequate water, sewer, public utilities and services, and by adequate vehicular and pedestrian access, and will not be detrimental to the public health, safety, or welfare," per San Buenaventura Municipal Code Section 24.525.070 (f).

The proposed project, as conditioned, will be served by adequate water, sewer, public utilities and services, and the Public Works Department and Ventura Water have reviewed and conditioned the project to ensure the public health, safety, or welfare and that adequate utilities are available to serve the proposed development. Additionally, the project site is an existing developed shopping center that is already serviced by water, sewer and public services.

The proposed site plan incorporates a revised pedestrian access through the site which is beneficial to vehicular and pedestrian access. The primary pedestrian

Therefore the parking setback reduction for Pad Building I authorized by the Concurrent Minor Variance is compatible with existing improvements and consistent with the scale and character of existing development in the same vicinity or zone.

7. Required Finding: "The project authorized by the variance will not be detrimental to or adversely impact adjacent properties" as per Municipal Code Sec. 24.535.120 (1) (c).

Front Setback Reduction

The proposed front setback reduction for the two pad buildings will not adversely impact adjacent properties because the two pad buildings will be located closer to the Public right-of-way and not an adjoining property line. This reduction in the front setback for the two pad buildings is also consistent with the City's continued movement to a more urban massing typology, bringing buildings closer to front setbacks to activate street frontages, while still maintaining adequate landscaping, building orientation and functional use of pedestrian and vehicular access within the shopping center.

Therefore the project authorized by the Concurrent Minor Variance will not be detrimental to or adversely impact adjacent properties.

Parking Setback Reduction

The proposed parking setback reduction for the Pad Building I parking area will not adversely impact adjacent properties because the parking area will be located closer to the Public right-of-way and not an adjoining property line. Additionally Pad Building I's parking area will be adjacent to the East, Main Street, Telephone Road, Valentine Road, and Highway 101 intersection which separates it from any other adjoining property to the north.

Therefore the parking setback reduction for Pad Building I's parking area authorized by the Concurrent Minor Variance will not be detrimental to or adversely impact adjacent properties.

8. Required Finding: "Approval of the variance does not grant a special privilege inconsistent with the limitations on other properties in the same vicinity or zone" as per Municipal Code Sec. 24.535.120 (1) (d).

Front Setback Reduction

Approval of the Concurrent Minor Variance for a front setback reduction for the two new pad buildings does not grant a special privilege inconsistent with the

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new form of community plan and building that incorporates large-scale employment, workforce housing and neighborhood commercial in an economically diverse setting.

The subject site has a General Plan Land Use designation of Commerce which is defined as encouraging a wide range of building types of anywhere from two to six stories (depending on neighborhood characteristics) that house a mix of functions, including commercial, entertainment, offices, and housing.

The project site is not identified in the General Plan 2014-2021 Housing Element "Site Inventory" list.

The proposed building and site improvements would contribute to a development that is consistent with the following goals, policies and actions of the General Plan:

Goal 3: Our goal is to protect our hillside, farmlands and open spaces; enhance Ventura's history and cultural resources; respect our diverse neighborhoods; reinvest in older areas of our community; and make great places by investing on the highest standards of quality in architecture, landscaping and urban design.

Policy 3A: Sustain and complement cherished community characteristics.

Action 3.2: Enhance the appearance of districts, corridors, and gateways (including views from highways) through controls on building placement, design elements and signage.

The proposed project implements the above goals, policies, and actions because it will allow for new dining, retail and office uses to be located within a commercially designated area, and the new buildings, facade remodels, and landscape and hardscape upgrades will help to enhance the appearance of the Arundel District, where a concentration of several shopping centers are located at a busy intersection. Though Architectural Theme Criteria are sought to be removed, the design of the project will be subject to scrutiny from the Design Review Committee, employing Citywide Design Guidelines.

The proposed project also meets the intent of the adopted Economic Development Strategy - Tourism, Retail, and Quality of Life goal, "to enhance and improve the quality of life for Ventura residents and promote Ventura as a business and vacation destination. Stabilize and expand the retail base by attracting needed retail establishments, marketing vacant storefronts, and supporting existing businesses."

the General Plan and with the purposes and requirements of this zoning ordinance.

6. Required Finding: "The project authorized by the variance is compatible with existing improvements and consistent with the scale and character of existing development in the same vicinity or zone" as per Municipal Code Sec. 24.535.120 (1) (b).

Front Setback Reduction

On May 17, 2017, the Design Review Committee found that the overall project reflects a high level of development and design quality that will enhance and benefit the city as a whole. The reduction in the front setback for the two pad buildings is consistent with the City's continued movement to a more urban massing typology, bringing buildings closer to front setbacks to activate street frontages while still maintaining adequate landscaping, building orientation and functional use of pedestrian and vehicular access within the shopping center.

Additionally, the architectural design of the proposed development is compatible with the character of the surrounding neighborhood which comprises of predominantly one story commercial or industrial buildings with a few two stories. However, a majority of the single story buildings have a massing reflecting a one and a half story to two or three story building. The proposed new pad buildings, which matches the surrounding buildings and the rest of the shopping center. The Design Review Committee also found that all reasonable design efforts were made to maintain a harmonious, orderly, and attractive development completed by the General Plan, Zoning Ordinance and Citywide Design Guidelines because the proposed development, including the two pad buildings, is compatible with the scale, mass, bulk and orientation of the existing shopping center and surrounding neighborhood as discussed in Finding 3.

Therefore the front setback reduction for the two pad buildings authorized by the Concurrent Minor Variance is compatible with existing improvements and consistent with the scale and character of existing development in the same vicinity or zone.

Parking Setback Reduction

While placing parking closer to the public right-of-way is generally not supported by staff or the Design Review Committee, the unique topography of the site helps to screen this encroachment since the adjacent intersection and public sidewalk are at a higher elevation than the parking area. Additionally the DRC reviewed the proposed landscape plans on May 17, 2017 and found that they will provide additional screening of the parking area at the corner.

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PLANNING COMMISSION RESOLUTION NO. CD-2017-_____
APPROVING A PLANNED DEVELOPMENT PERMIT AMENDMENT AND A CONCURRENT MINOR VARIANCE FOR THE RIVIERA SHOPPING CENTER
PROJECT - 10088
CASE NO. PDA-7-16-20184

BE IT RESOLVED by the Planning Commission of the City of San Buenaventura as follows:

SECTION 1: An application has been filed by Athena Property Management, pursuant to the San Buenaventura Municipal Code, for a Planned Development Permit Amendment (PDA-7-16-20184) for the proposed demolition of an existing 3,422-square foot vacant commercial building within the 237,788-square foot Riviera Shopping Center, the creation of two (2) new pad buildings (one 1,827-square feet and the other 5,810-square feet) with a Concurrent Minor Variance for a front yard setback reduction from 50-feet to 38-feet (Pad Building I) and from 50-feet to 15-feet (Pad Building II), a Concurrent Minor Variance for a reduction in the parking setback from 15-feet to 12-feet, a new drive through bank ATM, a new parking lot, new landscaping, hardscape, and circulation improvements throughout, and removal of the Architectural Theme Criteria for the Riviera Shopping Center on seven separate parcels comprising 23,037 acres at 4714-4728 Telephone Road in the Commercial Planned Development (CPD) Zone with a land use designation of Commerce. The project site is identified as lots 4, 5, 6, and 7 of Tract No. 2776-1 in the City of San Buenaventura, County of Ventura, State of California and being a subdivision of portions of Lots 11, 12, 13, and 14 of the Olive Portion of Rancho San Miguel as per Map recorded in Book 2, Miscellaneous Record, Page 105 and commonly referred to as Assessor's Parcel Numbers 064-0-072-265, 064-0-072-265, 064-0-072-336, and 064-0-072-315.

SECTION 2: All proceedings having been duly taken as required by law, and upon review of the information provided, consideration of the testimony given at the public hearing, as well as other pertinent information, the Planning Commission finds as follows:

Planned Development Permit Amendment

1. Required Finding: "The proposed project conforms to the comprehensive plan and is consistent with the purposes and requirements of this zoning ordinance," per San Buenaventura Municipal Code Section 24.525.070 (f).

The project site is located within the Arundel Community, which is described as the main industrial and warehouse district of Ventura, but also has mixed-use areas with retail, restaurants, and offices within walking distance of many workers. The General Plan envisions this area is ripe for redevelopment into a

Concurrent Minor Variance

For a front setback reduction from 50-feet to 38-feet (Pad Building I) and from 50-feet to 15-feet (Pad Building II) per Tract 2776 Special Development Criteria No. 4(A) and for a parking setback reduction from 15-feet to 12-feet for the parking in front of Pad Building I per Tract 2776 Special Development Criteria No. 8 (c).

5. Required Finding: "The project authorized by the variance is consistent with the policies and provisions of the (general) plan and with the purposes and requirements of this zoning ordinance" as per Municipal Code Sec. 24.535.120 (1) (a).

Front Setback Reduction

Pad Building I would reduce the front setback from 50-feet to 38 feet and Pad Building II from 50-feet to 15-feet. Except for the Front Setback requirement, the pad buildings comply with a majority of the zoning provisions contained within the CPD zone and the Tract 2776 Development Criteria, as more fully analyzed in Attachment C to the Staff Report (incorporated herein by reference). The pad buildings were reviewed by the Design Review Committee who supported approving the proposed development and granting a Concurrent Minor Variance to allow the front setback reductions. The setback reductions would be consistent with the City's continued movement to a more urban massing typology, bringing buildings closer to front setbacks to activate street frontages.

Therefore the reduction in the pad buildings front setback authorized by the Concurrent Minor Variance is consistent with the policies and provisions of the General Plan and with the purposes and requirements of this zoning ordinance.

Parking Setback Reduction

The proposed parking area complies with a majority of the zoning provisions contained within the CPD zone and the Tract 2776 Development Criteria (as identified in Attachment C to the Staff Report) except for the parking setback which would reduce the setback from 15-feet to 12-feet. While placing parking closer to the public right-of-way is generally not supported by staff or the Design Review Committee, the unique topography of the site helps to screen this encroachment since the adjacent intersection and public sidewalk are at a higher elevation than the parking area. Additionally, the DRC reviewed the proposed landscape plans on May 17, 2017 and found that they will provide additional screening of the parking area at the corner.

Therefore the reduction in the parking setback for Pad Building I authorized by the Concurrent Minor Variance is consistent with the policies and provisions of

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PLANNING CONDITIONS

Sheet Title	R&A No.	A161304
Revisions	Date:	07/20/17
	Drawn:	R&A
	Checked:	
	Consult:	No.

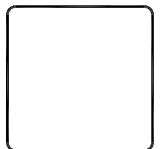
RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

Sheet No.
PC1

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<p>Judgment or is amicably resolved or settled, unless the City otherwise decides to waive said fees or any part thereof. The foregoing may not apply if the permittee prevails in the enforcement proceeding.</p> <p>19. In accepting the benefits of the conditional approval of this discretionary permit and approvals issued in conjunction with this discretionary permit, and as a condition of approval of this permit, the applicant agrees to defend, indemnify, and hold harmless the City of San Buenaventura and its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees brought to attack, set aside, void, or annul the approval of the permit by anyone, including an advisory agency, appeals board, or legislative body of the City. This condition shall be construed to include, without limitation, applicant's agreement to pay any attorney's fees incurred by the City in its choice of defense counsel or empanel against the City or its agents, officers, or employees in any legal action to attack, set aside, void or annul the approval of the application in which the petitioner or plaintiff in such action is the prevailing party and is awarded attorney's fees.</p> <p>A. Applicant's obligations set forth in this condition are based on the mutual understanding of the City and the applicant that the City shall promptly notify the applicant of any such claim, action, or proceeding and cooperate fully in the defense, provided that the City's obligation to cooperate fully in such defense shall not include payment of any monies for or toward any fees, costs, or expenses of such defense. In any event, the applicant may not be required to pay or perform any settlement of any such claim, action, or proceeding unless the settlement is approved by the applicant.</p> <p>B. Upon notice to Applicant of a legal challenge to the approval of the permit approved hereunder, Applicant shall execute and return a "Deposit, Reimbursement, and Indemnification Agreement."</p> <p>C. Nothing contained in this condition is intended to, or shall be construed to, prohibit the City from participating in the defense of any claim, action, or proceeding, provided that applicant shall remain obligated to pay any attorney's fees incurred by City for in-house or outside counsel, which may be chosen by the City in the exercise of its sole discretion.</p> <p>D. In the event the City determines that it is necessary to take legal action to enforce any of the provisions of these conditions, and such legal action is taken, the applicant shall be required to pay any and all costs of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not prosecuted to a final judgment or is amicably resolved or settled, unless the City should waive said fees or any part thereof. The foregoing may not apply if the permittee prevails in the enforcement proceeding.</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 16 of 25 PC-67</p>	<p>13. The construction superintendent shall notify all crews of construction work hours on the project site in accordance with the City's adopted Noise Ordinance, no work shall take place between the hours of 8:00 p.m. and 7:00 a.m. The construction work hours shall be noted on the improvement plans and are generally acquired as 7:00 a.m. to 6:00 p.m. Monday through Friday, Saturday work requires prior concurrence by City. No work shall take place on Sunday or any legal or City observed holiday. The definition of "work" shall include running or idling of equipment.</p> <p>14. Once permits have been issued to commence work on the improvements, it is the owner's responsibility to diligently pursue completion per all conditions, requirements and as presented on the approved plans. Reasonable progress shall occur on a continual basis until completion to the satisfaction of the Community Development Director. Work shall not be discontinued for a period exceeding 30 days, without acceptable cause, with the intent to have the project completed in a timely fashion so as to prevent a potential blight from partially completed construction.</p> <p>15. Minor changes to this planned development permit amendment may be approved by the Community Development Director or designee subject to Zoning Ordinance Chapter 24.570. Any substantial change will require the filing of an Application for Amendment and shall be subject to review by the Planning Commission.</p> <p>16. This approval does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Inspection Services Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.</p> <p>17. Once permits have been issued to commence work on the improvements, it is the applicant/owner's responsibility to diligently pursue completion per all conditions and requirements and as presented on the approved plans. Reasonable progress shall occur on a continual basis until completion to the satisfaction of the Community Development Director. Work shall not be discontinued for a period exceeding 30 days, without acceptable cause, with the intent to have the project completed in a timely fashion so as to prevent a potential blight from partially completed construction.</p> <p>18. All approvals are subject to and dependent upon the applicant complying with all applicable ordinances, codes, regulations, or adopted policies. In the event the City determines that it is necessary to take legal action to enforce any of the provisions of these conditions, and such legal action is taken, the applicant shall be required to pay any and all costs of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not prosecuted to a final</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 14 of 25 PC-68</p>	<p>10. The Planning Commission Resolution, in its entirety as adopted, shall be included in the initial plan check submittal that is submitted to the Building and Safety Division. The Resolution shall be copied directly onto plan sheets and included as part of the plans that are submitted for plan check. The Resolution shall remain a part of the plans throughout the plan check process and shall be part of the plans for which building permits are issued.</p> <p>11. Unless the project is inaugurated no later than 12 months after this approval is granted and is diligently pursued thereafter, this approval shall expire by operation of law without any further action by the decision-making authority if the use authorized by such use permit is not commenced on or before the time limit specified in the conditions of approval of such planned development permit amendment, or if no time is specified, on or before one year after the date such amendment was approved. The Community Development Director may, pursuant to Chapter 24.505, grant no more than one administrative extension of such time limit if the approved plans have not changed and if there has been no substantial change in the circumstances of the surrounding vicinity, provided the initial 12-month period has not already expired. Additionally, the Planning Commission may extend such time limit, for a good cause, before its expiration, pursuant to section 24.525.140.</p> <p>12. Unless construction is commenced no later than 12 months after this effective approval is granted and is diligently pursued thereafter, this approval will be subject to revocation pursuant to the City's Zoning Regulations. However, if the approved plot plan, elevation plans, and adjacent areas are unchanged (except as allowed under Municipal Code Section 24.605), the Community Development Director may grant one additional 12 month extension of time for start of construction, provided the initial 12 month period has not already expired.</p> <p>Start of construction is defined as:</p> <p>a. All zoning and related approvals are effective;</p> <p>b. All required building and grading permits for the project have been issued; and</p> <p>c. The "foundation inspection" and "concrete slab or underfloor inspection" as defined in the California Building Code, Section 110, have been made and received approval from the Inspection Services Division, i.e., all trenches must be excavated, forms erected, and all materials for the foundation delivered on the job and all in-slab or underfloor building services equipment, conduit, piping, accessories and other ancillary equipment items must be in place. The California Building Code is the currently adopted addition commencing with Section 12.110.010 of the City of San Buenaventura Municipal Code. Nothing in this definition shall be construed to alter the applicable legal standards for determining when vested property rights to complete the project have arisen.</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 13 of 25 PC-65</p>	<p>2. The location of all existing buildings, parking areas, and other existing facilities or features shall be located and maintained substantially as shown on the plans for PDA-7-16-36124, dated September 13, 2017, Exhibits "A" through "GG".</p> <p>3. The project authorized by PD-198 is only modified to the extent identified in the attached plans labeled Case No. PDA-7-16-36124 dated September 13, 2017, Exhibits "A" through "GG".</p> <p>4. Condition 37 of PD-198, authorized by Planning Commission Resolution No. 6004, is replaced in its entirety and amended as follows:</p> <p>37. The requirement for Architectural Theme Criteria for this shopping center is rescinded. A formal written set of Architectural Theme Criteria including—but not limited to—building theme or style, types of building materials, roof types, colors, and a sign program for the overall site shall be reviewed and approved by the Planning Commission and the Architectural Review Board prior to issuance of any building permits for the site.</p> <p>5. All remaining provisions of PD-198 approved by the Planning Commission on August 12, 1980 shall remain in full force and effect.</p> <p>6. The applicant shall create colors and materials plan sheet setting the Design Review Committee's confirmed colors and materials for approval by the Planning Division and submitted to the Building and Safety Division for building permit issuance.</p> <p>7. All materials and colors used in construction and all landscape materials shall be as shown on the plans and approved by the Design Review Committee. Any deviation will require the express approval of the Design Review Committee, and once constructed or installed, all improvements shall be maintained in accordance with the approved plans and in a manner acceptable to the Community Development Director. This includes landscape materials being maintained in a healthy and weed-free manner at all times.</p> <p>8. Compliance with and execution of all conditions listed herein shall be necessary prior to obtaining final building inspection clearance and/or prior to obtaining any occupancy clearance, unless stated otherwise herein. Deviation from the requirement shall be permitted only by written consent of the Community Development Director.</p> <p>9. Within 16 days hereof, the applicant and property owner shall file with the Secretary of the Planning Commission written acknowledgment of the conditions stated herein on forms provided by the Planning Division, and all public notices posted onsite are to be removed.</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 12 of 25 PC-64</p>	<p>The proposed project will not result in an unusual circumstance that would cause it to have a significant effect on the environment because it will be located within a built-out shopping center at the intersection of a busy commercial area (Arroyal District) and will not alter the commercial characteristics of the property or surrounding area. Therefore, the project will not have a significant effect on the environment due to unusual circumstances.</p> <p>(c) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements, which are required as mitigation by an adopted negative declaration or certified EIR.</p> <p>The project is not located in or adjacent to a state designated scenic highway.</p> <p>(d) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site, which is included on any list compiled pursuant to Section 65962.5 of the Government Code.</p> <p>The proposed project site is not included on any list compiled pursuant to Section 65962.5 of the Government Code.</p> <p>(f) Historical Resources. A categorical exemption shall not be used for a project, which may cause a substantial adverse change in the significance of a historical resource.</p> <p>The project site does not contain an existing or potential landmark, point of interest, or historic resource, and it is not located within or adjacent to an existing proposed, or potential Historic District. The shopping center was built from 1982 to 1984, meaning that no structures over 40 years old are located on site. Therefore, the proposed project will not cause a substantial adverse change in the significance of a historical resource.</p> <p>SECTION 4: Based on the above findings, Planned Development Permit Amendment PDA-7-16-36124 is HEREBY APPROVED, as set forth in Sections 1 through 3 above, subject to the following conditions:</p> <p>Planning Division Special</p> <p>1. The approval is granted only for the land as described in the application and any attachments thereto, and as shown on the plans labeled PDA-7-16-36124, dated September 13, 2017, Exhibits "A" through "GG", attached hereto and incorporated herein by reference.</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 11 of 25 PC-63</p>
<p>through inadequately maintained treatment devices into the public storm drain system, are in violation of State regulations and the City's Municipal Code.</p> <p>40. Per Part 4, Section F.8(d) of MS4 Permit, prior to issuance of Certificate of Occupancy, to ensure proper installation, all LID measures, structural BMP's, treatment control BMP's, post construction BMP's and all landscaped areas shall be inspected by Public Works Inspector. The Certificate of Occupancy shall not be issued if the project site does not have fully functioning LID measures, structural BMP's, treatment control BMP's, post construction BMP's and/or other landscaped areas have been ground. 6309.</p> <p>41. Prior to issuance of grading permit, the project Civil Engineer shall certify that they have reviewed the Landscape Plans (both private and public) and that all structural BMP's, treatment control BMP's, post construction BMP's comply with the MS4 requirements. This certification shall be on the civil construction plans. 6310.</p> <p>Land Development-Utilities</p> <p>42. All utility plans shall be coordinated with the respective utility companies and shall be submitted for review and approval by the City Engineer along with other improvement plans required for the project. 6402.</p> <p>43. All above ground utility locations shall be reviewed and approved prior to grading plan approval. All above ground utility structures shall be located and sited in accordance with the City Council adopted Guidelines for the Screening of above Ground Utility Structures. 6403.</p> <p>Land Development-Paths</p> <p>44. The Applicant/Developer shall submit landscape and irrigation plans for both public and private areas prepared by a landscape architect licensed in the State of California and shall include all self-certifications necessary to show compliance with the State's AB 1861 - Model Water Efficient Landscape Ordinance. 6603.</p> <p>Ventura Water Standard Sewer</p> <p>45. The current City Engineering Design Standards and the City Standard Construction Details shall be followed for design requirements. Please contact Land Development for a copy of the latest approved set.</p> <p>46. All on-site sanitary sewer mains and appurtenances shall be a private sewer system, owned and maintained by the Homeowners' Association as provided for in the CO&R's. Connection to the City Sewer System shall be made to a City mainline within the public right-of-way as approved by the Ventura Water</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 19 of 25 PC-72</p>	<p>measures. The BMPs shall be designed specifically for the treatment of the pollutants of concern as identified in the referenced documents. 6308.</p> <p>The Applicant/Developer shall submit a site plan with design of the BMP's, including treatment calculations, for review with grading/improvement plans. No permits will be issued prior to approval of the final design of the BMP's and all BMP's shall be constructed prior to project acceptance.</p> <p>First consideration shall be to control pollutants, pollutant loads, and runoff volume emanating from impervious surfaces through infiltration, storage for reuse, evaporation, or bioretention by reducing the percentage of Effective Impervious Area (EIA) to 5% or less of the total project area in accordance with the Technical Guidance Manual.</p> <p>When a vegetated swale is used within public right of way or on private property, Amendment no. 1 to the Engineering design Standards, dated October 16, 2014 shall be followed. Landscape plans shall clearly delineate perimeter of vegetated swale and designate as permanent BMP. Copy of landscape plan shall be provided to Land Development Section for review and approval.</p> <p>The Applicant/Developer shall also be responsible for developing and implementing a long-term Operation and Maintenance Plan for stormwater quality protection BMP's included in the project. The Operation and Maintenance Plan shall include the following:</p> <ul style="list-style-type: none"> • Operation procedures; • Procedures for routine maintenance (e.g., debris removal, vegetation clearing); • Procedures for corrective maintenance (e.g., parts replacement); • Maintenance performance levels; • Identification of the party responsible for operation and maintenance; • Inspection and reporting requirements; • Training of individuals responsible for maintenance. <p>The Applicant/Developer shall submit Draft Declaration of Covenants for review and approval as to form by the City Engineer and City Attorney to insure maintenance of all water quality BMP's included in the project. Applicant/Developer shall record declaration prior to issuance of certificate of occupancy, illicit discharges, illicit connections, or stormwater discharges passing</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 20 of 25 PC-71</p>	<p>Land Development-Grading</p> <p>34. All grading shall be in accordance with the City Grading Ordinance and the latest revision thereto. When a grading permit is required, the rough grading for the lot shall be completed, certified by the Applicant/Developer's self-geotechnical and civil engineers and accepted by the City Engineer prior to issuance of building permits. Certification shall be accompanied by Final Compaction Report. 6201.</p> <p>Land Development-Drainage</p> <p>35. Hydrology/hydraulic design calculations, prepared by a Registered Civil Engineer, are required to be submitted with the site-grading plan. Calculations shall include determination of adequacy of the drainage system proposed and the adequacy of the existing downstream system before issuance of a grading permit. If capacity is not available in the existing system using the design criteria of the City, Ventura County Watershed Protection District, and Caltrans, then the Applicant/Developer shall submit plans for review and approval for new downstream drainage improvements OR provide an onsite retention system with adequate capacity for the additional flows prior to issuance of grading permit.</p> <p>Design and construction of the downstream system improvements shall be at the Applicant/Developer's expense, as approved by the City Engineer and/or respective agency. The construction of the downstream system shall be completed prior to occupancy. 6301.</p> <p>36. No cross-lot drainage will be permitted unless approved by the City Engineer in which case the property owner must provide documents providing stormwater acceptance between the lots. 6302.</p> <p>37. All drainage shall be directed away from structures and the drainage run-off shall be conveyed to a street and/or drainage system by non-erosive means. 6303.</p> <p>38. The Applicant/Developer and Property Owner shall comply with the requirements of the Ventura Countywide Stormwater Quality Management Program (VCSQMP), National Pollutant Discharge Elimination System (NPDES) Permit No. CAS004002, applicable NPDES permits issued by the State of California Regional Water Quality Control Board including the State General Permit for Construction Activity, and the City of San Buenaventura Municipal Stormwater Code. 6307.</p> <p>39. In addition to complying with the above listed stormwater requirements the Applicant/Developer shall comply with the Technical Guidance Manual for Stormwater Control Measures (available for download on the County's website at: http://www.vostormwater.org), to design and construct stormwater control</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 17 of 25 PC-70</p>	<p>parking should be located along the natural desire lines of travel from the bikeways to the facility entrance, in well-lit areas visible from commercial storefronts and public areas, in the nature of a bicycle corral or rack, regardless of how the bicycle parking is provided, it shall be designed to provide two (2) points of contact on the bicycle, be supported upright, and cause no stress onto lines. All provided bicycle parking shall, at a minimum, allow both the frame and at least one wheel of the bike to be secured with a u-tyre lock.</p> <p>Land Development-Generals</p> <p>26. Grading and improvement plans required, including, but not limited to, street, water, sewer, and storm drain improvements shall be prepared by a Civil Engineer registered in the State of California. Said improvement plans shall be submitted to the City Engineer for review and comments and subsequent approval. 6001.</p> <p>Prior to commencement of work on the grading and improvement plans, Developer and his Civil Engineer shall attend a pre-design meeting with Land Development staff to become fully aware of the City's standards, requirements, processes and expectations.</p> <p>26. Prior to issuance of any building permits, the Applicant/Developer shall pay sewer and water connection fees, parks and recreation facilities tax, traffic mitigation fee, service area parks mitigation fee, public park fee and all other applicable fees/taxes. 6002.</p> <p>30. Concurrent with submitting any public improvement plans for plan checking, the Applicant/Developer's engineer shall submit a standard City of Ventura "Estimate of Cost" with a plan check fee in accordance with the City Municipal Code and current Fee Schedule. The approved estimate of cost shall be the basis for the plan check fee, inspection fee, and security for guaranteeing public improvements. 6003.</p> <p>31. Any existing damaged or defaced curb, gutter, or sidewalk adjacent to project boundary shall be removed and replaced. 6005.</p> <p>32. All utility plans shall be coordinated with the respective utility companies and submitted for review and approval by the City Engineer prior to issuance of a grading and/or encroachment permit. 6006.</p> <p>33. No improvements shall be allowed within any existing easement, unless as approved by the utility easement owner and City Engineer. 6016.</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 18 of 25 PC-69</p>	<p>20. All requirements of any law, ordinance, or regulation of the State, City of San Buenaventura, and any other governmental entity shall be complied with.</p> <p>21. Approval is subject to the applicant paying all fees and assessments to the City of San Buenaventura, as required by the Municipal Code.</p> <p>Planning Division Special</p> <p>22. The project plans submitted to Building & Safety shall identify all bicycle parking locations with a minimum of 84 bicycle parking spaces, to be provided on site. Staff shall review all construction documents prior to building permit issuance to assure that the bicycle racks have been provided and is not in conflict with the applicable development standards for building in the Commercial Planned Development (C-P-D) Zone.</p> <p>23. The project plans submitted to Building & Safety shall identify all carpool/vanpool parking locations with a minimum of 84 spaces, to be provided on site. Staff shall review all construction documents prior to building permit issuance to assure that the carpool/vanpool parking spaces have been provided and is not in conflict with the applicable development standards for building in the Commercial Planned Development (C-P-D) Zone.</p> <p>Public Works Department - Traffic</p> <p>24. Prior to the issuance of building permits, the applicable City Traffic Mitigation Fee shall be paid to the Inspection Services Division.</p> <p>26. Prior to the issuance of building permits, the applicable County of Ventura traffic mitigation fees shall be paid directly to the County. A building permit will not be issued until the applicant has provided satisfactory evidence that the County fee has been paid.</p> <p>26. Access to the site shall be through driveways per City Standard Plan No. 104, with a minimum width of 26 feet. The driveways shall be located behind the property frontages per City Engineer's requirements.</p> <p>Public Works Department - Bicycle Parking</p> <p>27. The applicant shall submit a bicycle parking plan, per Municipal Code, to be reviewed and approved by the Chief Building Official, a Senior Transportation Engineer, and the Community Development Director (or his/her appointee). All bicycle parking shall comply with AASHTO, NAOTO, or APB standards, with regard to rack types, spacing, setbacks, installation surfaces, materials, hardware and signage, as permitted by the California Building Code. The bicycle</p> <p>A17-00405 PROJ-10088 PC1011171DN Page 16 of 25 PC-68</p>

Sheet	PLANNING CONDITIONS		
Title	RIVERA SHOPPING CENTER PAD 2		
Revisions	R&A No:	A161304	
	Date:	07/29/17	
	Drawn:	R&A	
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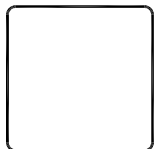


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**RIVERA SHOPPING CENTER
PAD 2**
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

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<p>78. Prior to Building and Safety submittal, Developer and his design team (architect and engineer) shall attend a preliminary Plan Check meeting with Building and Safety and Fire Department staff to become fully aware of the City's standards, requirements, plan check processes and expectations. Contact Yolanda Bundy for meeting coordination at (805)677-3663.</p> <p>79. All construction shall be designed and built in accordance with California Title 24 handicap accessibility standards. Appropriate details and specifications shall be incorporated into the plans and submitted at time of plan check.</p> <p>80. Structural observation shall be required in accordance with California Building Code Chapter 17. The design professional shall provide the required observation, which shall be clearly specified on the approved plans.</p> <p>81. This project or use shall meet all applicable requirements of State and local codes related to building safety, fire protection and hazardous materials in effect at time of permit application. The Building and Safety conditions are general in nature and are intended to indicate major requirements, but are not all-inclusive. The Building Official will meet with the applicant, at the applicant's convenience, to discuss the applicable requirements in more detail. The Building Official may be contacted at (805) 677-3663, 801 Polli Street, Ventura, CA 93001.</p> <p>SECTION 6: The permit approval shall be subject to revocation if the applicant fails to comply with the conditions listed herein at any time, if, at any time, the Community Development Director or Planning Commission determine that there has been, or may be a violation of the findings or conditions of this approval, or of the Zoning Regulations, a public hearing may be held before the Planning Commission to review this approval pursuant to Zoning Regulation Chapter 24.570. At said hearing, the Planning Commission may add or modify conditions, recommend enforcement actions, or revoke the approval entirely, as necessary, to ensure compliance with these findings/conditions and the Zoning Regulations, and to provide for the health, safety, and general welfare of the community.</p> <p>PASSED AND ADOPTED this 11th day of October, 2017.</p> <p>Approved as to Form: Gregory G. Diaz City Attorney</p> <p><i>Gregory G. Diaz</i> Assistant City Attorney</p> <p>Attachment: Exhibit "A" through "G" A17-00405</p> <p>PRQJ-10098 PC10111720N Page 25 of 25</p> <p>PC-77</p>	<p>70. Develop a Refuse and Recycling Operations and Management plan for approval from EJ Harrison and the City Environmental Services Staff. The Refuse and Recycling Operations and Management plan shall include at a minimum how the collection of refuse and recycling will be accomplished:</p> <p>a) Number of trash/recycle bins. b) Number of days of service from EJ Harrison. c) Provide a description of outdoor site management (trash and recycle containers, sweeping, mopping, and removal of all trash from outdoor surfaces). d) Include the following: "Adequate trash service shall be provided. No trash or recyclable materials shall be allowed to spill or accumulate on any surrounding surfaces. If at any time it is determined by inspection that trash/recycle is inadequate for this site, additional service shall be provided." e) The Plan shall be signed by a responsible party.</p> <p>Fire Department</p> <p>71. Fire protection systems shall be installed for each structure as required per the California Fire Code, California Building Code and City of San Buenaventura Ordinance.</p> <p>Building & Safety Division</p> <p>72. TYPE OF CONSTRUCTION: Comply with current adopted building codes.</p> <p>73. OCCUPANCY: Occupancy must comply with the requirements of current adopted building codes.</p> <p>74. ACCESSIBILITY: Fully comply with all accessibility requirements of the current Building Code.</p> <p>75. GREEN BUILDING CODE REQUIREMENTS: Fully comply with all requirements of the current Green Building Code.</p> <p>76. Complete architectural plans and appropriate engineering calculations shall be prepared by a California Licensed Architect or Engineer and be submitted to Building and Safety for plan check and plan approval.</p> <p>77. All building construction shall be designed in accordance with the City's currently adopted California Building Code, California Green Building Code, California Electric Code, California Plumbing and Mechanical Codes, California Energy Code and all other appropriate sections of the City Ordinance Code.</p> <p>A17-00405</p> <p>PRQJ-10098 PC10111720N Page 24 of 25</p> <p>PC-76</p>	<p>system to serve the subdivision. There shall be no distribution systems with dead ends created by the project. Looped systems to existing and/or new mains are to be provided as part of the design.</p> <p>65. All on-site water mains and appurtenances shall be a private water system, owned and maintained by the property owner. A master meter shall be required on all mixed-use and multi-family town, house/apartment complexes; meter size will be based on the number of units served. Multi-unit buildings shall be equipped with sub meters and piping as required at the building owner's expense prior to the issuance of a certificate of occupancy. All sub meters will be owned, maintained, read and billed by the building owner or HOA.</p> <p>66. The construction plans shall show proposed water service and meter locations for each lot. There shall be a separate water service for each lot. Water services shall not be located in driveways.</p> <p>67. Phasing Plans for water utilities shall be submitted to Ventura Water for review and approval by the Ventura Water General Manager at least three weeks prior to the start of construction. All utilities shall be sufficient to support each phase and the phasing map shall show all proposed utilities for the entire project and any public improvements that will be constructed off-site that are necessary to serve each phase.</p> <p>68. No private easements.</p> <p>Environmental Services</p> <p>69. Compliance with the Refuse and Recycling Enclosure Minimum Standards and Guidelines must be demonstrated on the plan materials for review and approval prior to Occupancy process or issuance of building permits, including the following:</p> <p>a) Independent pedestrian access to the storage bin areas, if applicable; o Buffer zones between refuse/recycle storage areas; o Required number of recycle and refuse bins must meet the minimum standard for the proposed use. o Areas for Refuse/Recycle bin storage; and to end for easy pedestrian traffic access and removal of bins for disposal by EJ Harrison. o Demonstrate easy accessibility for the removal of the bins (in and out of the enclosure) to the area of pick up by EJ Harrison that does not hinder or block traffic (e.g. slope of drive way may be too steep for EJ Harrison driver to physically push the dumpsters to an accessible area for pick up).</p> <p>A17-00405</p> <p>PRQJ-10098 PC10111720N Page 23 of 25</p> <p>PC-75</p>	<p>58. Phasing Plans for sewer utilities shall be submitted to Ventura Water for review and approval by the Ventura Water General Manager at least three weeks prior to the start of construction. All utilities shall be sufficient to support each phase and the phasing map shall show all proposed utilities for the entire project and any public improvements that will be constructed off-site that are necessary to serve each phase.</p> <p>57. No private easements.</p> <p>Ventura Water Standard Water</p> <p>68. The City of San Buenaventura is implementing a Water Rights Dedication and Water Resource Net Zero Policy per Municipal Code Chapter 22.160. All projects are subject to compliance with the Policy, which includes implementation of conservation offsets, dedication of water rights, and/or payment of a Water Resource Net Zero Fee.</p> <p>Prior to Final Tract (Parcel) Map approval by the City, a grant deed dedicating to the City all water rights developed from the historic extraction of surface or ground water and the right to develop all water found or taken from under that portion of said property shall be submitted to the City. This grant deed is required to be recorded concurrently with the Final Tract (Parcel) Map. The Subdivider/Developer shall assist in the transfer of any allocations as required by a Basin Water master or other water authority.</p> <p>59. The current City Engineering Design Standards and the City Standard Construction Details shall be followed for design requirements.</p> <p>60. Any wells and/or water production facilities on the site shall be abandoned or destroyed in a manner satisfactory to the Ventura Water General Manager and the County Resource Management Agency. A Ventura County Well Demolition Permit will be required prior to abandoning any wells.</p> <p>61. A separate service is required for fire protection purposes. The fire service shall be equipped with approved backflow device. Point of connection to the City water system shall be made only in location as approved by the Ventura Water General Manager.</p> <p>62. There shall be no public water mains/services/meters within private streets, properties and private or public alleys.</p> <p>63. There shall be no trees planted until water services are located. Minimum separation between trees and water mains or services is 6'.</p> <p>64. The Applicant/Subdivider/Developer shall provide a looped water distribution</p> <p>A17-00405</p> <p>PRQJ-10098 PC10111720N Page 22 of 25</p> <p>PC-74</p>	<p>General Manager. The on-site private sanitary sewer mains shall converge into a private manhole on-site before connection to the public manhole within the public right-of-way. The Homeowners' Association shall be billed for the sewer service for these lots.</p> <p>OR</p> <p>A private common sewer agreement shall be prepared by the Subdivider/Developer and submitted for consideration and approval by the City Attorney and Ventura Water General Manager for any sewage drainage to any other private sewer system.</p> <p>47. There shall be no public sewer mains, lift stations or other sewer facilities within private streets, properties and private or public alleys.</p> <p>48. There shall be no trees planted until sewer laterals are marked on curbs. Minimum separation between trees and sewer mains and/or laterals is 10'.</p> <p>49. The construction plans shall show proposed sewer lateral for each lot. There shall be a separate lateral for each lot. The Lots that have a second dwelling unit may have two (2) separate sewer laterals. New sewer laterals shall not be located in driveways. Laterals that are being abandoned must be cut and capped.</p> <p>50. The Subdivider/Developer shall clean and CCTV all public sewer lines just prior to final inspection. The Subdivider/Developer shall clean and CCTV all public sewer lines per NASSCO/PACP Standards and 10% clear water flow within two (2) weeks prior to FINAL ACCEPTANCE of the public improvements.</p> <p>61. Multiple unit housing complexes, on a single lot, shall be served by one private sewer lateral. This lateral shall connect to the public sewer main by a public manhole.</p> <p>52. There shall be no more than 3 connections to a public manhole.</p> <p>53. Point of connection to the City sewer system shall be made only to sewer mains in location as approved by the Ventura Water General Manager.</p> <p>54. The Applicant/Subdivider/Developer shall provide the necessary backflow prevention control devices as required by Ventura Water.</p> <p>56. All new sewer infrastructures shall be isolated with a physical barrier until the Ventura Water approves the new system and the development is ready for actual occupancy.</p> <p>A17-00405</p> <p>PRQJ-10098 PC10111720N Page 21 of 25</p> <p>PC-73</p>
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RASMUSSEN & ASSOCIATES
Architecture
Planning
Interiors
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Sheet Title	R&A No:	A161304
Revisions	Date:	10/29/17
	Drawn:	R&A
	Checked:	
	Consult:	

RIVIERA SHOPPING CENTER
PAD 2
4724 TELEPHONE ROAD
VENTURA, CALIFORNIA

Sheet No.
PC3

GENERAL NOTES:

- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS, PRIOR TO COMMENCING WORK.
- COORDINATE STRUCTURAL DETAILS & DIMENSIONS WITH RELATED REQUIREMENTS ON OTHER DRAWINGS.
- THE ARCHITECT WILL INTERPRET THE INTENT OF THE DOCUMENTS IN CASE OF A POSSIBLE CONFLICT OR DISCREPANCY BETWEEN STRUCTURAL AND OTHER DISCIPLINES.
- DETAILS NOTED AS "TYPICAL" OR "TYP" SHALL APPLY IN ALL CASES WHETHER OR NOT SPECIFICALLY REFERENCED.
- WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC).
- FOUNDATION DESIGN IS BASED UPON GEOTECHNICAL REPORT BY MOORE/TWINING ASSOCIATES PROJECT NO. E75208-02-01, DATED FEBRUARY 8, 2017:
 - ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF
- MATERIAL REQUIREMENTS:
 - CONCRETE: $f'_c = 2500$ PSI AT 28 DAYS
NO SPECIAL INSPECTION REQUIRED
 - CONCRETE BLOCK: ASTM C90 GRADE N-1 (NORMAL WEIGHT)
NO SPECIAL INSPECTION REQUIRED ($f'_m = 1500$ psi)
GROUT: $f'_c = 2,000$ psi, MORTAR: $f'_c = 1800$ psi
 - REINFORCING STEEL: ASTM A615, #4 & SMALLER - GRADE 40, #5 & LARGER - GRADE 60
 - STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL COMPLY WITH ASTM A36, TYP U.N.O., STRUCTURAL TUBES SHALL COMPLY WITH ASTM A500, GRADE B. STRUCTURAL PIPES SHALL COMPLY WITH ASTM A53, GRADE B.
 - MACHINE BOLTS: ASTM A307
 - ANCHOR BOLTS: ASTM A307
 - TIMBER FASTENERS: SIMPSON STRONGTIE INC. OR APPROVED EQUAL.
 - SAWN TIMBER: ALL LUMBER SHALL BE GRADE MARKED, NO. 2 DOUGLAS FIR-LARCH OR BETTER, EXCEPT AS NOTED ON FRAMING NOTE 2 OR PLAN.
 - GLU-LAMINATED BEAMS: ALL GLU-LAMINATED MEMBERS SHALL BE FAB-RICATED IN ACCORDANCE WITH BUILDING DEPT. STANDARDS. A CERTIFICATE OF INSPECTION IS TO BE SUBMITTED TO THE BUILDING DEPT. PRIOR TO ERECTION. ALL GLU-LAMINATED BEAMS SHALL BE 24F.
 - LVL OR PSL LUMBER: $F_b = 2800$ PSI, $F_v = 285$ PSI, $E = 2,000,000$ PSI (ESR 1397, ESR 1040 OR ESR 1225)
 - I-JOISTS: TJI PRO SERIES BY TRUSS JOIST (ESR-1153) BOISE CASCADE (ESR-1336) OR PWI JOIST BY PACIFIC WOODTECH CORP (ESR-1225)
 - PLYWOOD/OSB SHEET: U.S. PRODUCT STANDARD 2-10, APA WALL; APA STRUCTURAL 1 RATED, EXPOSURE 1 FLOOR; $\frac{3}{4}$ " CDX, (PSR-24/0), EXPOSURE 1 FLOOR; $\frac{3}{4}$ " T&G UNDERLAYMENT GRADE, (PSR-32/16)
 - HARDY FRAME: ICC-ES NO. ESR-2089
 - MECH ANCHORS: REFER TO 8/S1, TYPICAL.
 - EPOXY ANCHORS: REFER TO 4/S1, TYPICAL. **SPECIAL INSPECTION REQUIRED.** A REPORT SHALL BE GIVEN TO THE BUILDING INSPECTOR AT FRAMING INSPECTION. REFER TO NOTE 10 ON 4/S1.

8. STRUCTURAL DESIGN LOADS:

- ROOF LOADS: DEAD LOAD = 18 PSF
LIVE LOAD = 20 PSF
- WALL LOADS: EXTERIOR WOOD FRAMING = 16 PSF
INTERIOR WOOD FRAMING = 9 PSF
- SEISMIC DESIGN: OCCUPANCY CATEGORY = II
SEISMIC IMPORTANCE FACTOR = 1.0
 $S_s = 2.418$
 $S_1 = 0.963$
 $S_2 = 1.451$
 $S_3 = 1.540$
SEISMIC DESIGN CATEGORY = E
SEISMIC FORCE RESISTING SYSTEM = LIGHT FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE OR STEEL SHEETS.
DESIGN BASE SHEAR = 0.22W
 $C_s = 0.22W$
 $R = 6.5$
ANALYSIS PROCEDURE = "EQUIVALENT LATERAL FORCE PROCEDURE"
- WIND DESIGN: ULTIMATE WIND SPEED = 110 M.P.H.
DESIGN WIND SPEED = 85 M.P.H.
WIND IMPORTANCE FACTOR = 1.0
WIND EXPOSURE = C
INTERNAL PRESSURE COEFFICIENT = ± 0.18
DESIGN WIND PRESSURE = 20.44 PSF

FOUNDATION NOTES:

- ALL CONCRETE SHALL HAVE 2500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. FOUNDATION DESIGNED FOR 2000 PSI, THEREFORE NO SPECIAL INSPECTION REQUIRED.
- ALL HOLDDOWN ANCHORS SHALL BE FIRMLY HELD IN PLACE BY A TEMPLATE PRIOR TO PLACING CONCRETE. EXACT HOLDDOWN LOCATION MUST BE COORDINATED BETWEEN CONCRETE AND FRAMING CONTRACTOR.
- SOIL COMPACTION REPORT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE JOB SITE PRIOR TO PLACEMENT OF CONCRETE FOR THE FOUNDATION.
- SOIL ENGINEER SHALL INSPECT FOUNDATION EXCAVATIONS PRIOR TO PLACEMENT OF CONCRETE FOR THE FOUNDATION.
- ALL REINFORCING STEEL SHALL COMPLY WITH MATERIAL REQUIREMENTS NOTED ABOVE. PLACING OF REINFORCING STEEL SHALL COMPLY WITH CHAPTER 19 OF THE CALIFORNIA BUILDING CODE.
- PRIOR TO THE CONTRACTOR REINFORCING A BUILDING DEPARTMENT FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
 - THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT.
 - THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED.
 - THE FOUNDATION EXCAVATIONS, THE SOIL EXPANSIVE CHARACTERISTICS AND BEARING CAPACITY CONFORM TO THE SOILS REPORT.
- ALL SHEAR WALL SILL PLATE ANCHOR BOLTS SHALL HAVE STEEL PLATE WASHERS IN LIEU OF CUT WASHERS, WITH SIZES AS NOTED BELOW:
 - 8" A.B.: = 3"x3"x $\frac{1}{2}$ "
 - 6" A.B.: = 3"x3"x $\frac{1}{2}$ "
 - 4" A.B.: = 3"x3"x $\frac{1}{2}$ "
 - 1" A.B.: = 3.5"x3.5"x $\frac{1}{2}$ "

GENERAL NOTES

MASONRY NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT OF ANY VERTICAL EARTH CUTS OVER 6'-0" IN HEIGHT.
- CONCRETE MASONRY UNITS SHALL NOT BE WETTED PRIOR TO PLACING GROUT.
- ALL CELLS BELOW BACKFILL AND ALL OTHER CELLS WHICH CONTAIN REINFORCEMENT TO BE FILLED W/ GROUT.
- REINFORCEMENT TO BE SPLICED 48 DIAMETERS (40 KSI STEEL), MINIMUM. REINFORCEMENT TO BE SPLICED 72 DIAMETERS (60 KSI STEEL), MINIMUM.
- REINFORCEMENT SHALL BE ACCURATELY SPLICED AND SECURED SO THAT IT WILL NOT BE DISPLACED. ALL CONCRETE SHALL BE PROPERLY CONSOLIDATED DURING PLACEMENT. ALL REINFORCING STEEL & EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF CONCRETE.
- GROUT SHALL BE WELL RODDED TO INSURE A GOOD CONTACT WITH REINFORCEMENT AND TO ELIMINATE ROCK POCKETS AND VOIDS. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS FOR MIXING, PLACING, FINISHING, CURING AND PROTECTING CONCRETE DURING UNFAVORABLE WEATHER CONDITIONS.
- POUR LIFTS SHALL BE 6'-0" MAXIMUM WITHOUT SPECIAL INSPECTION.
- POUR ALL FOOTINGS AGAINST SOLID NATURAL UNDISTURBED EARTH OR COMPACTED FILL COMPACTED TO 90% RELATIVE DENSITY.
- USE 4" PERFORATED P.V.C. DRAIN OR OMIT HEAD-JOINTS AT 32" O.C. FOR DRAINAGE. P.V.C. PIPE MUST DRAIN DOWN SLOPE AND BE NO LONGER THAN 40 FEET WITHOUT SPECIAL DESIGN.
- BACKFILL WITH 6" WIDTH OF SAND OR CLEAN COURSE GRAVEL AND COVER WITH A 12" THICK COMPACTED FILL BLANKET AT THE SURFACE. BACKFILL SHALL NOT BE PLACED UNTIL SEVEN (7) DAYS AFTER GROUTING.
- ALL WALLS SHALL BE WATERPROOFED ON THE SOIL SIDE.
- GROUT STRENGTH SHALL BE EQUAL TO OR GREATER THAN CONCRETE STRENGTH.

FRAMING NOTES:

- ALL FRAMING AND CARPENTRY SHALL BE DONE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF CHAPTER 23 OF THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE AND DETAILS INDICATED ON THE DRAWINGS.
- ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR GRADE IN ACCORDANCE WITH THE LATEST EDITION OF "GRADING AND DRESSING RULES #16 OF THE WEST COAST LUMBER INSPECTION BUREAU" OF THE FOLLOWING GRADES:
 - RAFTERS AND JOISTS: NO. 2 AND BETTER, U.N.O.
 - BEAMS: NO. 1 AND BETTER, U.N.O.
 - POSTS: NO. 1 AND BETTER, U.N.O.
 - STUDS, PLATES, ALL OTHERS: STUD GRADE, U.N.O.
- WOOD BEARING DIRECTLY ON CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR OR FOUNDATION GRADE REDWOOD. ALL CUT SURFACES OF PRESSURE TREATED DOUGLAS FIR SHALL BE COATED WITH A COPPER NAPHTHANATE MATERIAL.
- STRUCTURAL MEMBERS WILL NOT BE CUT FOR PIPE, CONDUIT, ETC.
- 2X SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AND AT ALL SUPPORTS.
- ALL BOLTS SHALL HAVE FLAT WASHERS UNDER HEAD AND NUT.
- ALL PLYWOOD EXPOSED TO WEATHER SHALL BE EXTERIOR GRADE.
- FRAMING SURROUNDING METAL HOOD VENTS SHALL BE CONTINUOUS 2x4 STUDS AT 12" O.C. SHEATHED WITH $\frac{1}{2}$ " PLYWOOD SHEATHING WITH 10D NAILS AT 6" AT EDGES AND 12" AT FIELD, AND WITH DRAFT STOPS AT 10'-0" O.C. MAX.
- HOLDDOWN CONNECTORS & SILL BOLTS MUST BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- ALL NAILS SHALL BE COMMON NAILS INSTALLED IN CONFORMANCE WITH CBC TABLE 2304.10.1
- FIRE STOPS ARE REQUIRED PER CBC CHAPTER 7 IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERT. & HORIZ.;
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERT. & HORIZ. SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS AND COVE CEILINGS;
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN & BETWEEN STUDS ALONG AND INLINE WITH THE RUN OF THE STAIRS IF THE WALL UNDER THE STAIRS ARE UNFINISHED;
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
- ALL WEATHER EXPOSED SURFACES SHALL HAVE WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING & ALL EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF PER CBC SECTION 1405.2.
- WOOD TRUSSES & WOOD JOISTS:
 - PLANS, DETAILS & CALCULATIONS SHALL BE REVIEWED BY THE JOB ARCHITECT/ENGINEER PRIOR TO SUBMITTAL TO THE CITY FOR APPROVAL.
 - TRUSS FABRICATOR SHALL SUBMIT NAME AND PHONE NUMBER OF THE AGENCY INSPECTING THE SHOP OPERATIONS.
 - CALCULATIONS AND DETAILS ARE TO BE PREPARED BY A REGISTERED ARCHITECT/ENGINEER.

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH "THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" (AISC LATEST EDITION)
- ALL STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36, WITH A MINIMUM YIELD STRESS OF 36 KSI.
- ALL STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 35 KSI.
- ALL ANCHOR BOLTS AND BOLTS SHALL CONFORM TO ASTM A307, GRADE A, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WELDING OF STRUCTURAL STEEL SHALL BE PERFORMED WITH E70XX ELECTRODES CONFORMING TO AWS D1.1 (LATEST EDITION)
- ALL WELDERS SHALL BE CERTIFIED BY THE BUILDING DEPARTMENT FOR WELDING OF STRUCTURAL STEEL, OR REINFORCING STEEL, AS APPLICABLE BY AWS STANDARDS.
- THE CONTRACTOR SHALL SUBMIT MISCELLANEOUS AND STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO ERECTION AND/OR INSTALLATION. SUBMIT 3 SETS OF PRINTS AND ONE SET OF REPRODUCIBLES.
- ALL FABRICATORS SHALL BE CERTIFIED BY THE BUILDING DEPARTMENT.
- ALL FIELD WELDING & ALL MULTI-PASS WELDS SHALL HAVE CONTINUOUS INSPECTION.
- ALL STEEL SURFACE ENCASED IN CONCRETE SHALL BE LEFT UNPAINTED.
- ALL STEEL TUBING SHALL CONFORM TO ASTM A 500, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 46 KSI.
- ALL BOLTS AND THREADED RODS SHALL CONFORM TO ASTM A 307, GRADE A, UNLESS NOTED OTHERWISE. ALL THREADED RODS SHALL BE ZINC-PLATED.
- ALL STEEL SHALL BE PRIME AND PAINTED, EXCEPT STEEL SURFACES ENCASED IN CONCRETE SHALL BE LEFT UNPAINTED.
- VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE PRIOR TO FABRICATION OF STEEL.

SPECIAL INSPECTIONS

- SPECIAL INSPECTIONS AND SUBSEQUENT REPORTS SHALL BE REINFORCED IN CONFORMANCE WITH SECTION 1704 OF THE 2016 CBC AT THE OWNERS EXPENSE.
- ALL SPECIAL INSPECTIONS SHALL BE MADE BY AN INDEPENDENT INSPECTION AGENCY SUBJECT TO APPROVAL BY THE BUILDING DEPARTMENT, AND SHALL BE PAID BY THE OWNER.
- THE FOLLOWING WORK SHALL BE PERFORMED UNDER CONTINUOUS DEPUTY INSPECTION IN THE PRESENCE OF THE OWNER'S SPECIAL INSPECTOR.
 - PLACEMENT OF CONCRETE WITH $f'_c = 3,000$ PSI & GREATER
 - INSTALLATION OF EPOXY GROUTED DOWELS
 - FIELD WELDING OF STRUCTURAL STEEL.
- THE FOLLOWING WORK SHALL BE PERFORMED UNDER PERIODIC DEPUTY INSPECTION IN THE PRESENCE OF THE OWNER'S SPECIAL INSPECTOR.
 - SHEARWALL NAILING WHERE FASTENER SPACING IS 4" O.C. OR LESS.
 - ROOF AND FLOOR DIAPHRAGM NAILING WHERE FASTENER SPACING IS 4" O.C. OR LESS.
 - DRAG STRUT AND HOLDDOWN CONNECTIONS.
- SPECIAL INSPECTION & PROFESSIONAL OBSERVATION REPORTS SHALL BE SUBMITTED TO THE OWNER, ENGINEER, AND DEPARTMENT OF BUILDING & SAFETY NO LATER THAN SEVEN (7) WORKING DAYS FROM THE DATE OF INSPECTION/OBSERVATION.

STRUCTURAL OBSERVATION PROGRAM

THE OWNER SHALL EMPLOY THE ENGINEER REGISTERED/LICENSED IN THE STATE OF CALIFORNIA WHO IS RESPONSIBLE FOR THE STRUCTURAL DESIGN TO DO THE STRUCTURAL OBSERVATION.

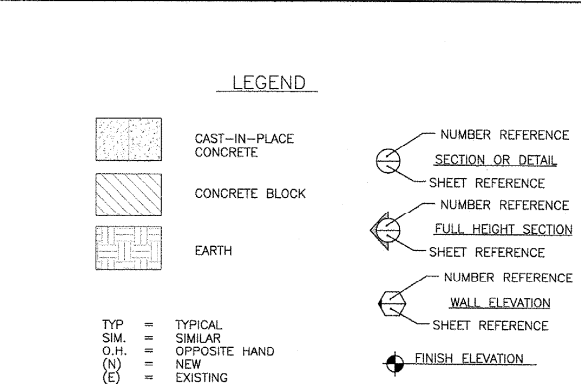
PROJECT ENGINEERS: JAMES VINCI, S.E. S-4411

THE ENGINEER RESPONSIBLE FOR THE STRUCTURAL OBSERVATION, THE CONTRACTOR, AND APPROPRIATE SUBCONTRACTORS SHALL HOLD A PRE-CONSTRUCTION MEETING TO REVIEW THE DETAILS OF THE STRUCTURAL SYSTEM TO BE STRUCTURALLY OBSERVED.

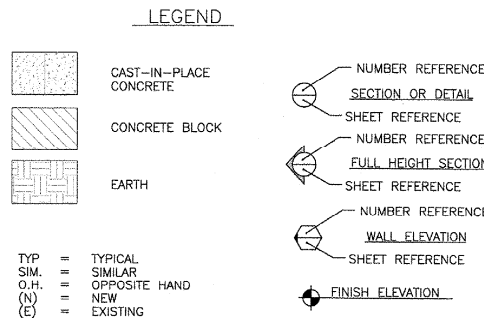
THE FOLLOWING ITEMS SHALL BE OBSERVED AT EACH PHASE OF CONSTRUCTION:

- | | |
|------------------------------------|--|
| FOUNDATION: | ANCHORS, HOLDDOWNS, STEEL PLACEMENT, FOOTING DIMENSIONS |
| ROOF & FLOOR NAILING: | FRAMING MEMBER SIZE, SHEATHING GRADE & THICKNESS, NAIL SIZE AND PLACEMENT. |
| EXTERIOR FRAMING PRIOR TO PREWRAP: | SHEAR WALL CONSTRUCTION (PLY E.N., HOLDDOWNS, SHEAR TRANSFER, ETC.) FRAMING MEMBERS, CONNECTIONS, ETC. |
| FINAL OBSERVATION: | ALL STRUCTURAL ELEMENTS |

TYPICAL SLAB-ON-GRADE DETAIL

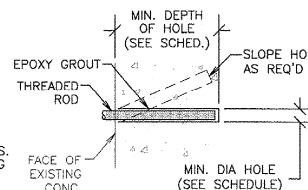


COMMERCIAL LEGEND



PROCEDURE

- DRILL HOLE OF PROPER DIAMETER AND DEPTH USING A CARBIDE TIPPED DRILL OR CORING BIT. AVOID ANY EXISTING REINFORCING STEEL BY RELOCATING HOLE SLIGHTLY.
- CLEAN HOLE THOROUGHLY BY AIR PRESSURE.
- MAKE SURE THAT HOLE IS DRY AND CLEAN BEFORE GROUTING.
- PLACE EPOXY GROUT IN HOLE W/ CAULKING GUN OR SIMILAR EQUIPMENT STARTING AT BOTTOM, FILL HOLE APPROX. $\frac{1}{2}$ FULL.
- COAT DOWEL WITH SAME EPOXY GROUT AND INSERT INTO HOLE, FORCING MATERIAL AROUND THE SIDES OF THE BAR AND COMPLETELY FILLING ALL VOIDS.
- PROVIDE SUPPORT FOR DOWEL BY TYING TO REBAR OR OTHER ELEMENT UNTIL GROUT HAS CURED.
- EPOXY GROUT IN CMU SHALL BE SIMPSON SFT EPOXY TIF (FSR 1777, LARR 25279), HILTI HIT-HY 150 MAX (ESR 1967, LARR 25881), AC108+ GOLD BY DEWALT (ESR 3200, LARR 26049)
- EPOXY GROUT IN CONCRETE SHALL BE HIT-RE 500-SD BY HILTI CORP. (ESR 2322, LARR 25700), SIMPSON SET-XP (ESR 2508, LARR 03151) OR PURET110+ BY DEWALT (ICC ESR 3298, LARR 28035)
- SPECIAL INSPECTION REQUIRED**



BAR SIZE	ROD SIZE	DIAM.	MIN. DEPTH
#3	-	1/2"	4"
#4	1/2"	5/8"	5"
#5	5/8"	3/4"	6"
#6	3/4"	7/8"	7"
-	7/8"	1"	8"
-	1"	1-1/8"	9"

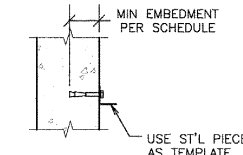
TYPICAL EPOXY GROUTED DOWELS / ANCHORS

DRILLED EXPANSION TYPE ANCHOR BOLTS SHALL BE USED ONLY WHERE DETAILED OR FOR ATTACHMENT OF MECH. ELEC. OR MISC. ACCESSORIES OR EQUIPMENT TO THE STRUCTURE.

- ACCEPTABLE WEDGE ANCHORS:
- HILTI-KWIK-BOLT-T2 (ICC ESR-1917, LARR 25701) IN NORMAL WT CONC.
 - I/W RAMSET/REDHEAD TRUBOLT+ (ICC ESR-2427, LARR 2748) IN NORMAL WT CONC.
 - SIMPSON STRONG-BOLT 2 (ICC ESR-3037, LARR 25891) IN NORMAL WT CONC.
 - SIMPSON WEDGE-ALL (ICC ESR 1396, LARR 24682) IN MASONRY ONLY.
 - DEWALT POWER-STUD+SD2 (ESR 2502, LARR 25831) IN NORMAL WT CONC.
 - DEWALT POWER-STUD+SD1 (ESR 2818, LARR 25864) IN CMU

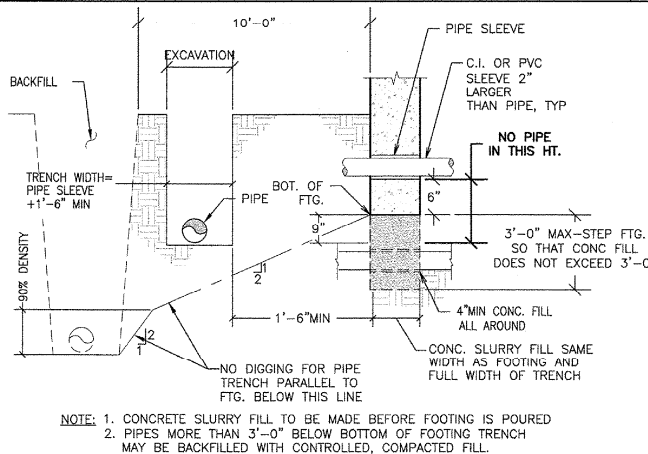
- ACCEPTABLE SCREW ANCHORS:
- SIMPSON TITEN HD SCREW ANCHOR (ICC ESR-2713, LARR 25741) IN NORMAL WT CONC.
 - SIMPSON TITEN HD SCREW ANCHOR (ICC ESR-1056, LARR 25560) IN CMU
 - DEWALT SCREW-BOLT+ (ICC ESR 3889) IN CONCRETE
 - DEWALT WEDGE BOLT+ (ICC ESR 1678) IN CMU

DRILLED BOLT SCHEDULE		3/8"	1/2"	5/8"	3/4"
BOLT DIAMETER					
MIN. EMBEDMENT		3"	4"	4"	5"
DIRECT-PULL TENSION (FT.LBS)	HARD ROCK	1100	2000	2300	3700
TORQUE WRENCH (FT.LBS)	HARD ROCK	25	50	80	50

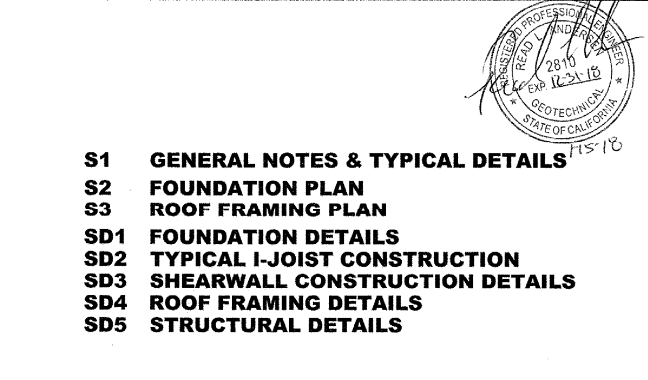


SPECIAL INSPECTION REQUIRED FOR INSTALLATION OF MECHANICAL ANCHORS ONLY WHERE UTILIZED TO RESIST SEISMIC FORCES, TYPICAL.

TYPICAL MECHANICAL ANCHOR DETAIL



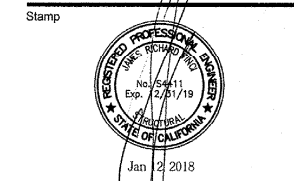
TYPICAL PIPE IN FOOTING



SHEET INDEX

- S1 GENERAL NOTES & TYPICAL DETAILS**
- S2 FOUNDATION PLAN**
- S3 ROOF FRAMING PLAN**
- SD1 FOUNDATION DETAILS**
- SD2 TYPICAL I-JOIST CONSTRUCTION**
- SD3 SHEARWALL CONSTRUCTION DETAILS**
- SD4 ROOF FRAMING DETAILS**
- SD5 STRUCTURAL DETAILS**

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Project Name / Address
New Commercial Building For: Riviera Shopping Center Pad 2 4724 Telephone Road Ventura, Ca

GENERAL NOTES & TYPICAL DETAILS

FOR CONSTRUCTION

Revision	Description	Date
1	PLAN CHECK	1/16/18

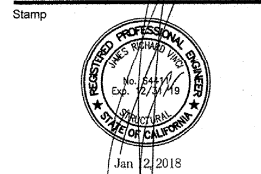
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- Project Engineer: JRV
- Checked By: JRV
- Drawn By: JWR
- Scale: 1/4"=1'-0"
- Date: 10-17-17

Sheet Number

S1

Sheet Of

File Path: C:\Users\jvinci\OneDrive - Vinci & Associates\Projects\17-5387\Drawings\17-5387-SD1-Structural Details.dwg, 1/12/2018 11:55:19 AM, jvinci



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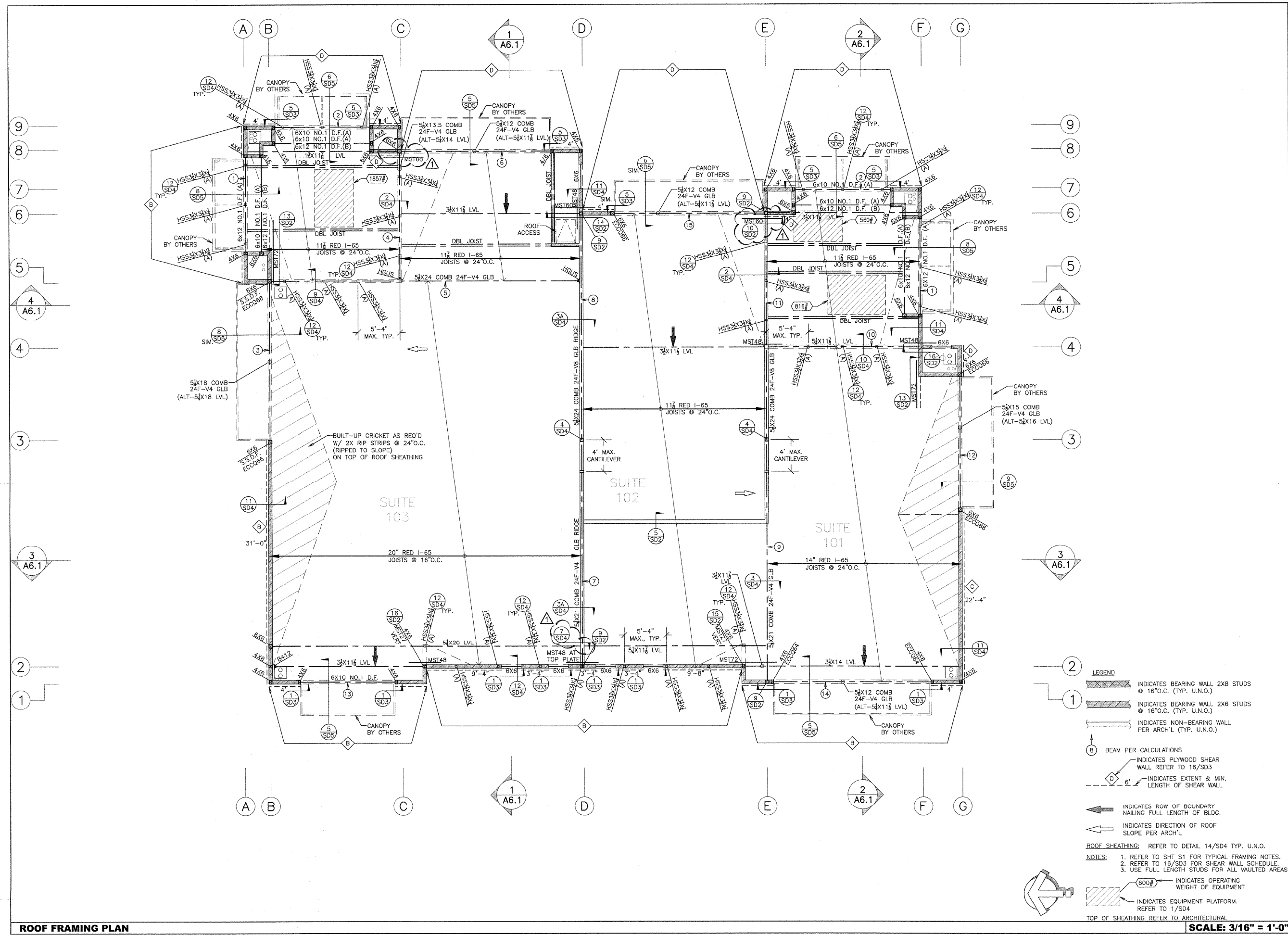
ROOF FRAMING PLAN

FOR CONSTRUCTION

Revision	Description	Date
1	PLAN CHECK	1/16/18

Project Number:	17-5387
Project Engineer:	JRV
Checked By:	JRV
Drawn By:	JWB
Scale:	1/4"=1'-0"
Date:	10-17-17

Sheet Number
S3
 Sheet ___ of ___



LEGEND

- INDICATES BEARING WALL 2X8 STUDS @ 16" O.C. (TYP. U.N.O.)
- INDICATES BEARING WALL 2X6 STUDS @ 16" O.C. (TYP. U.N.O.)
- INDICATES NON-BEARING WALL PER ARCH'L (TYP. U.N.O.)
- BEAM PER CALCULATIONS
- INDICATES PLYWOOD SHEAR WALL REFER TO 16/SD3
- 6'- INDICATES EXTENT & MIN. LENGTH OF SHEAR WALL
- INDICATES ROW OF BOUNDARY NAILING FULL LENGTH OF BLDG.
- INDICATES DIRECTION OF ROOF SLOPE PER ARCH'L

ROOF SHEATHING: REFER TO DETAIL 14/SD4 TYP. U.N.O.

NOTES:

1. REFER TO SHT S1 FOR TYPICAL FRAMING NOTES.
2. REFER TO 16/SD3 FOR SHEAR WALL SCHEDULE.
3. USE FULL LENGTH STUDS FOR ALL VAULTED AREAS.

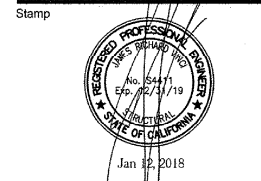
- 600# INDICATES OPERATING WEIGHT OF EQUIPMENT
- INDICATES EQUIPMENT PLATFORM. REFER TO 1/SD4

TOP OF SHEATHING REFER TO ARCHITECTURAL

SCALE: 3/16" = 1'-0"

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ROOF FRAMING PLAN



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New Commercial Building For:
 Riviera Shopping Center
 Pad 2
 4724 Telephone Road
 Ventura, Ca

Sheet Title

FOUNDATION DETAILS

FOR CONSTRUCTION

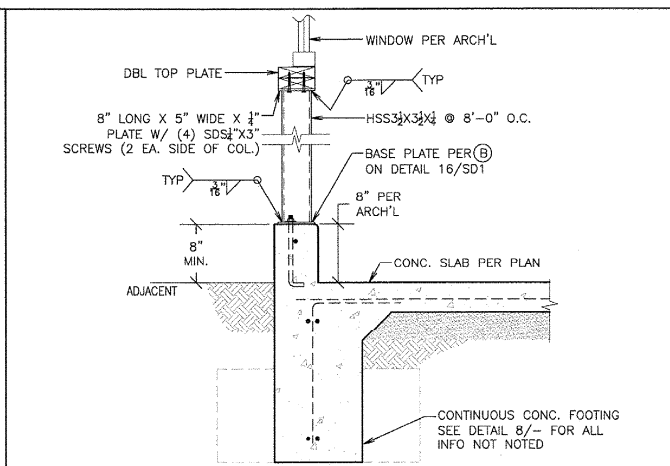
Revision	Description	Date
1	PLAN CHECK	1/16/18

- Project Number: 17-5387
- Project Engineer: JRV
- Checked By: JRV
- Drawn By: JWB
- Scale: 1/4"=1'-0"
- Date: 10-17-17

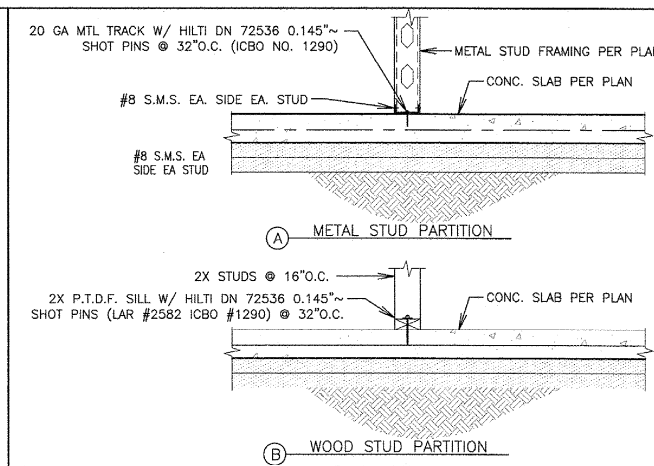
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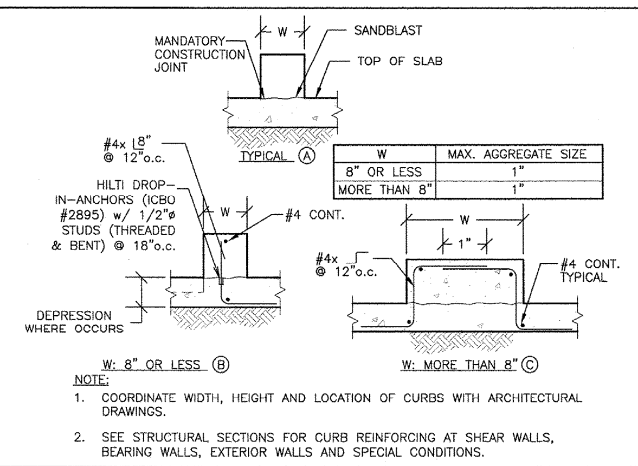
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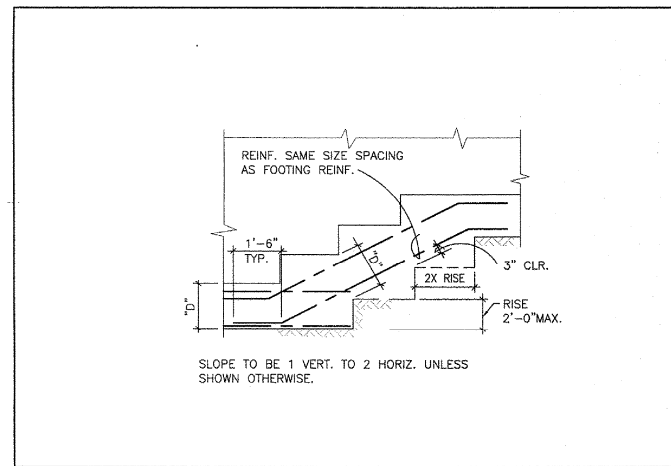
FOOTING DETAIL AT SHORT WALL UNDER WINDOW 4



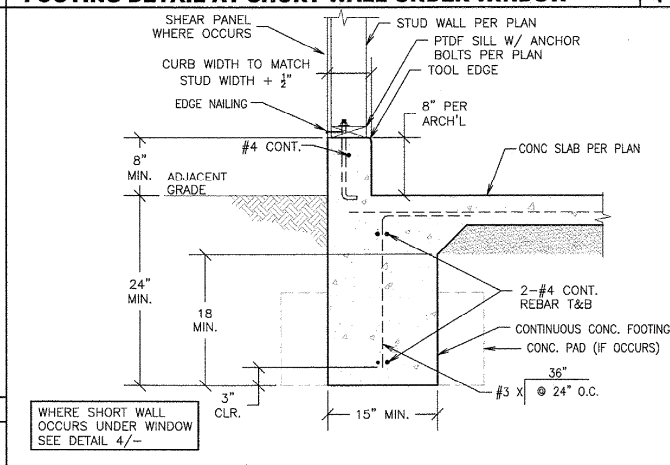
ATTACHMENT OF NON-BEARING PARTITION WALL 3



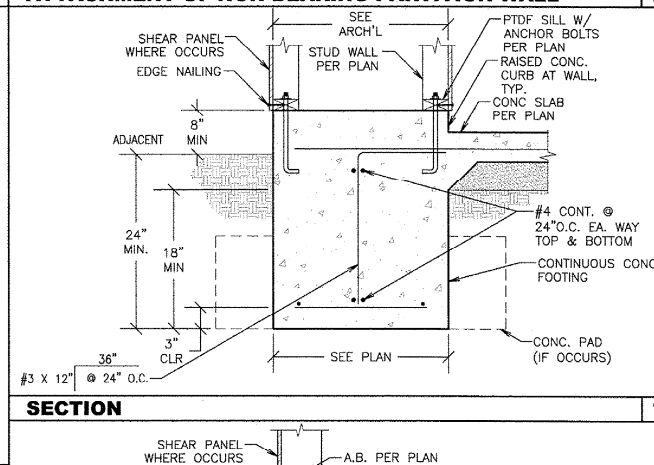
TYPICAL RAISED CURB DETAIL 2



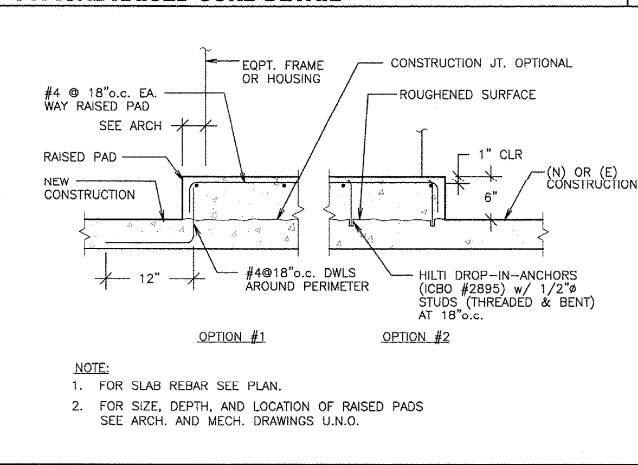
TYPICAL STEP FOOTING DETAIL 1



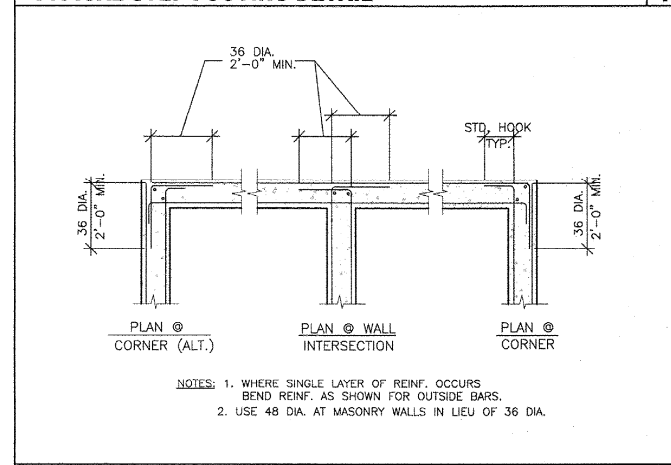
TYPICAL PERIMETER FOOTING WITH CURB 8



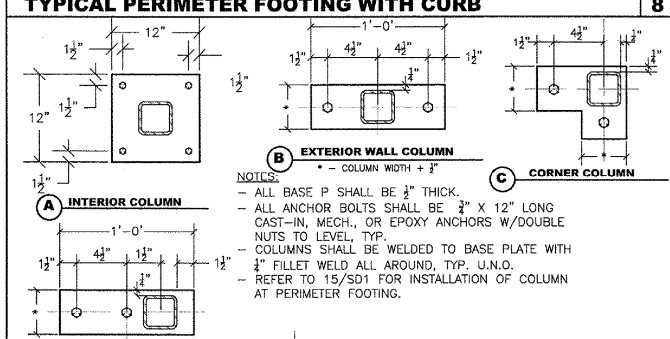
SECTION 7



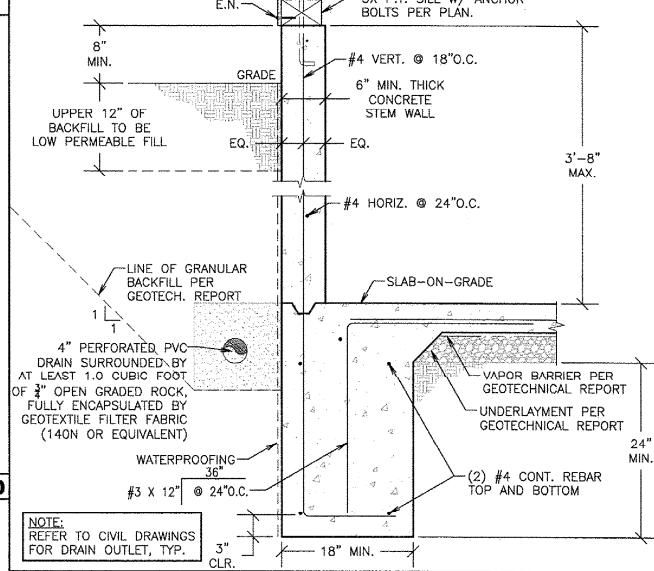
TYPICAL RAISED PAD DETAIL 6



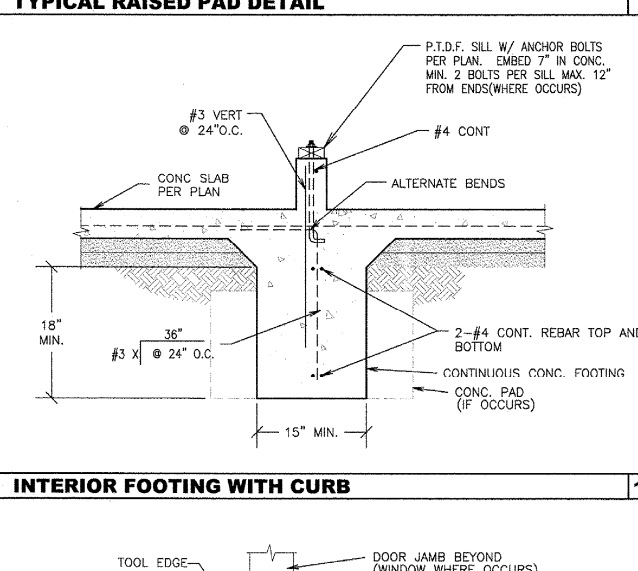
TYPICAL AT CORNERS AND INTERSECTIONS 5



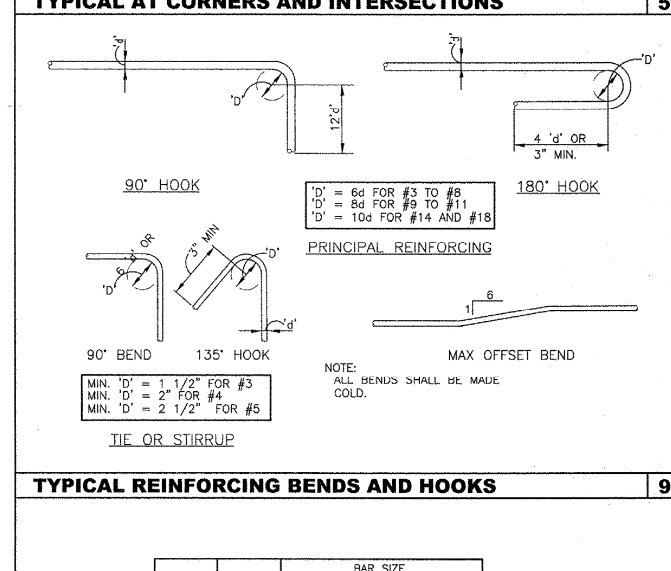
TYPICAL PERIMETER FOOTING WITH CURB 8



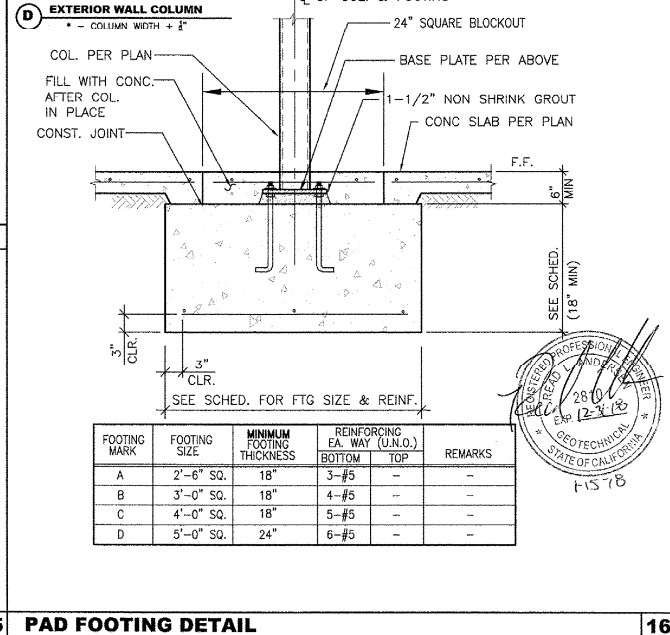
SECTION 11



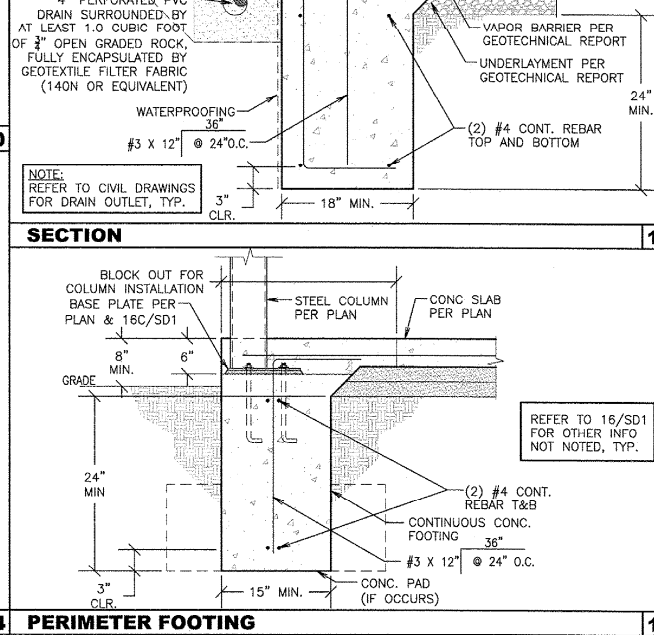
INTERIOR FOOTING WITH CURB 10



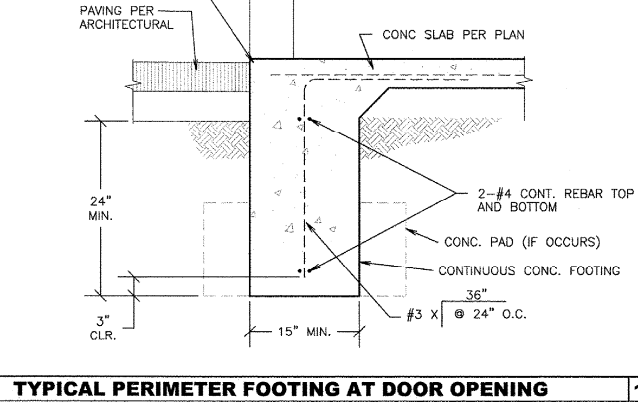
TYPICAL REINFORCING BENDS AND HOOKS 9



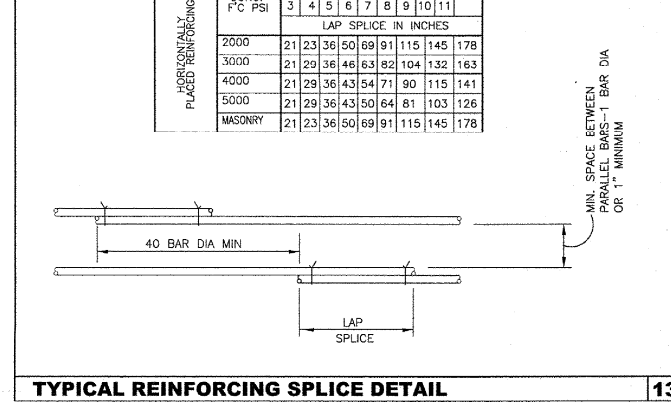
PAD FOOTING DETAIL 16



PERIMETER FOOTING 15

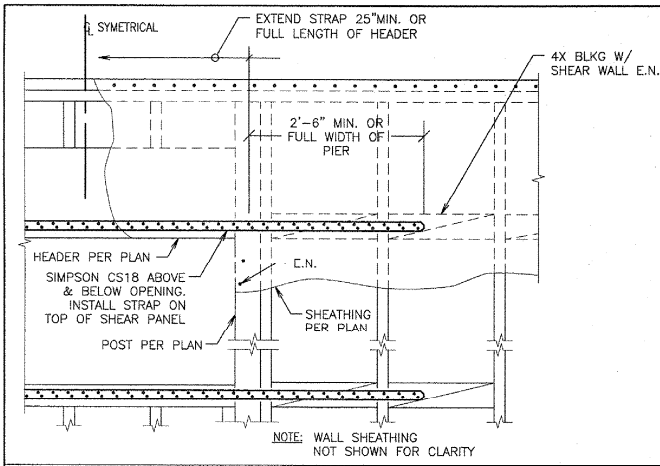


TYPICAL PERIMETER FOOTING AT DOOR OPENING 14

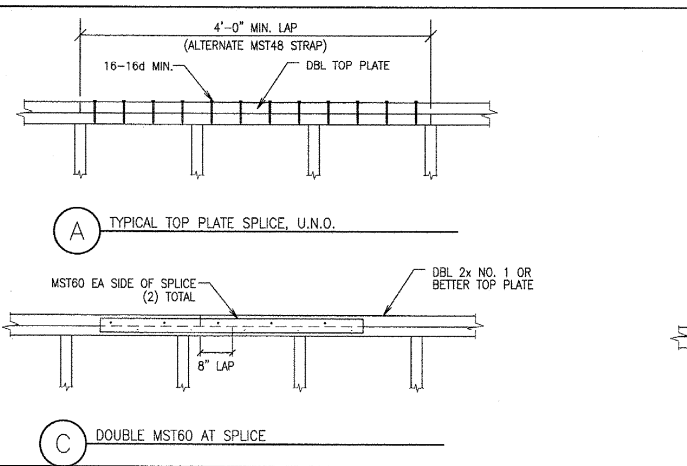


TYPICAL REINFORCING SPLICE DETAIL 13

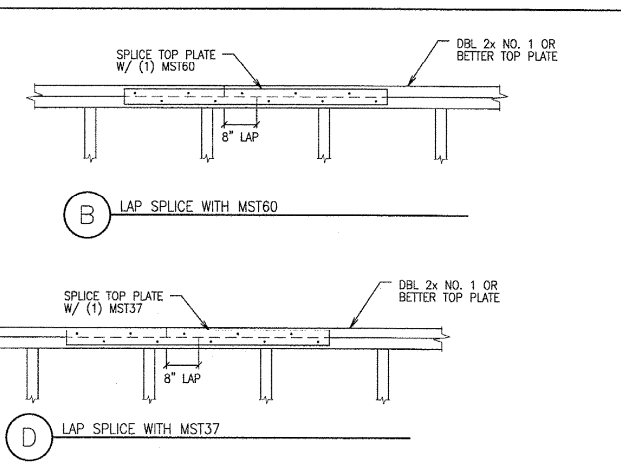
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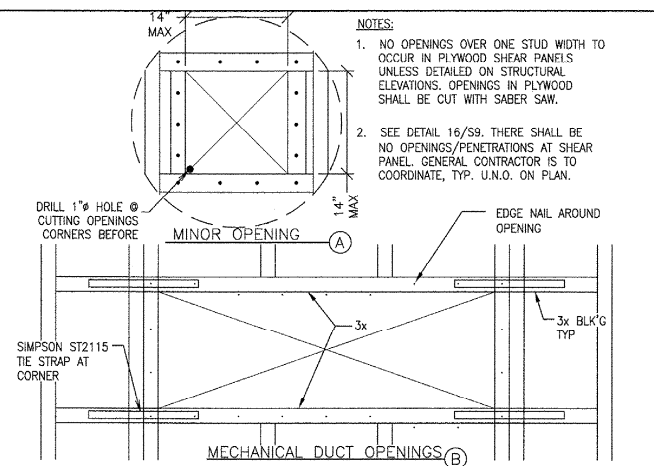
CS18 STRAP AT HEADER & SILL DETAIL 1



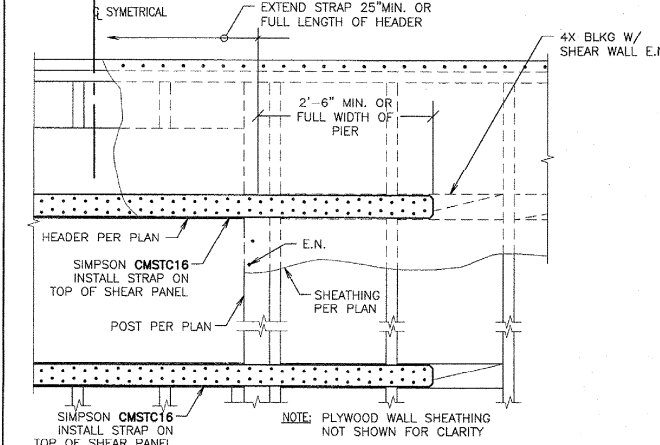
TYPICAL TOP PLATE SPLICES 2



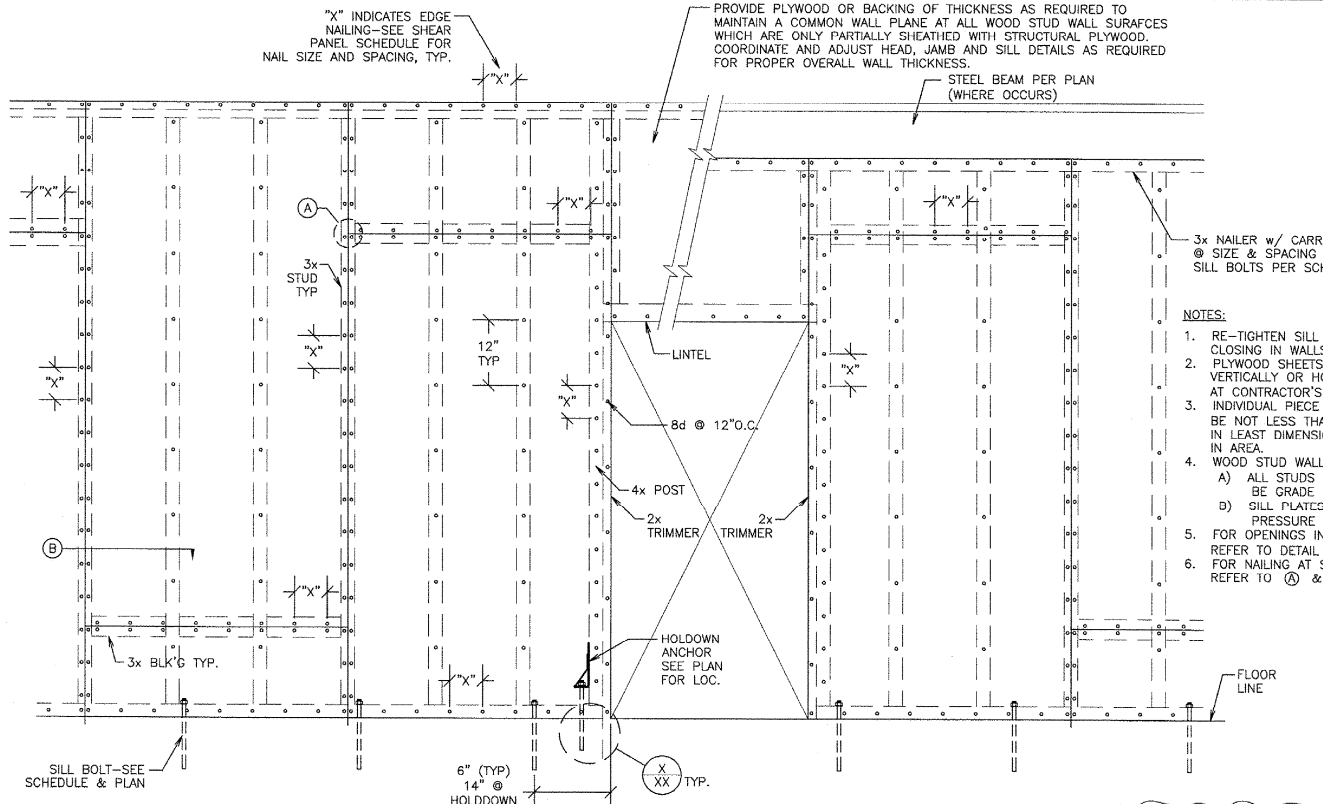
HOLE IN SHEARWALL 3



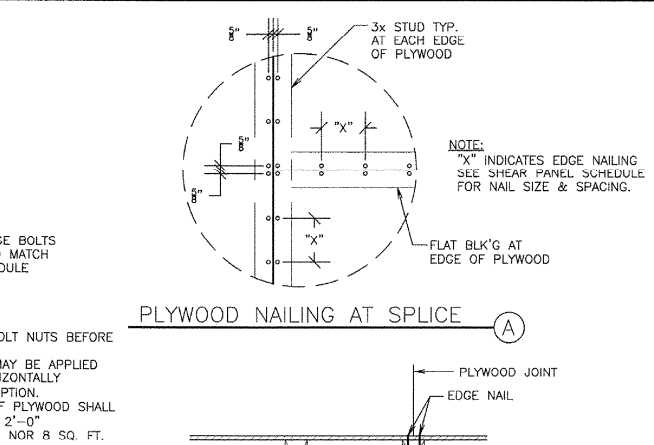
MECHANICAL DUCT OPENINGS 4



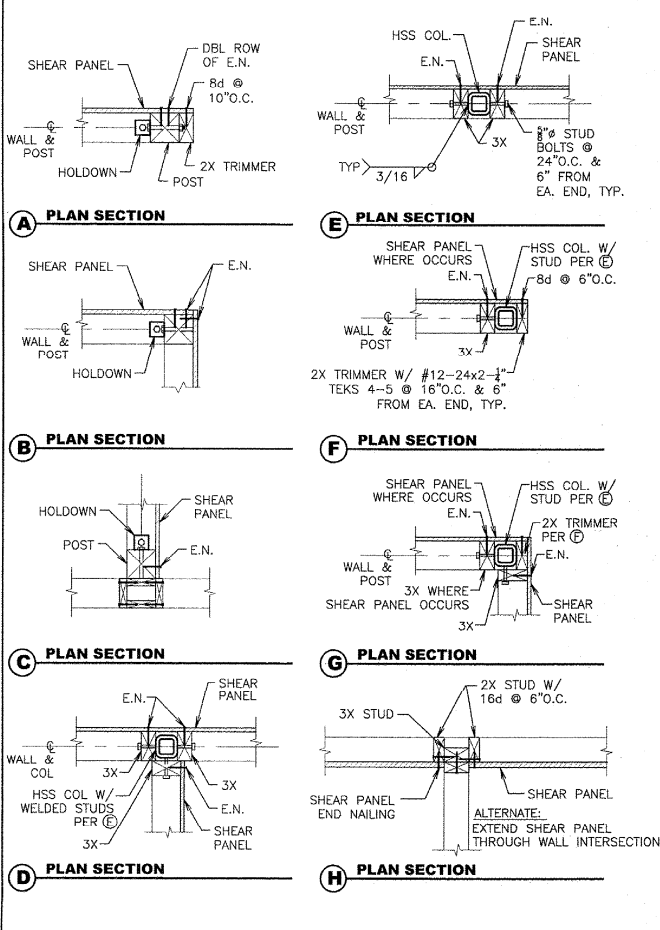
CMSTC16 STRAP AT HEADER & SILL 5



SHEAR WALL SCHEDULE



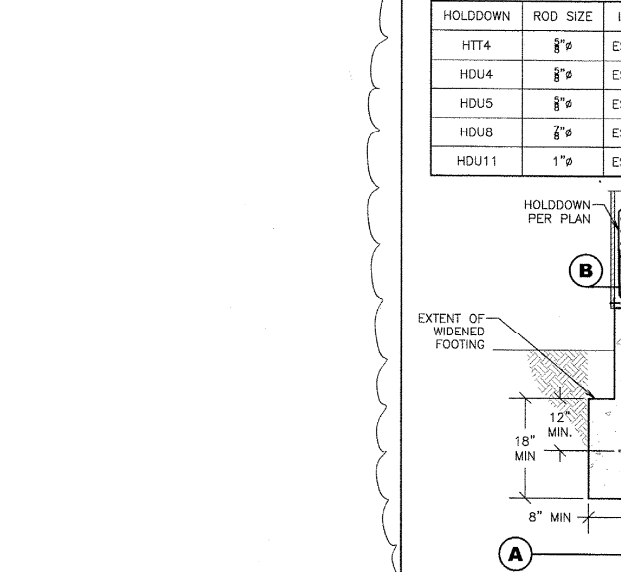
PLYWOOD NAILING AT SPLICE 6



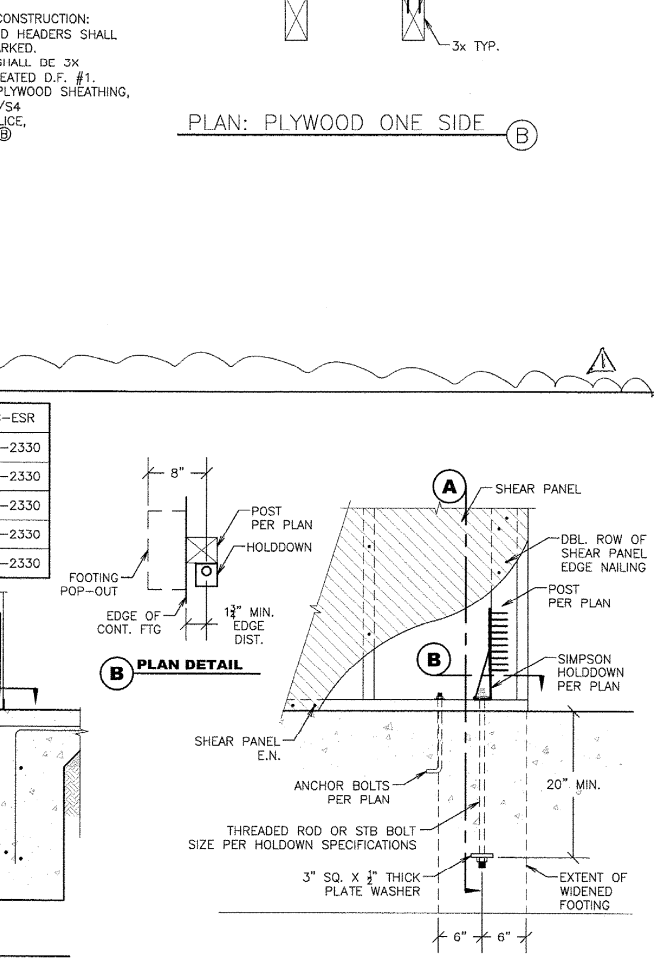
PLAN DETAIL AT SHEAR WALLS 13

TYPE	SHEAR WALL TYPE			
	A*	B*	C*	D*
MATERIAL ²	3/8" STRUCT 1	3/8" STRUCT 1	3/8" STRUCT 1	3/8" STRUCT 1
EDGE ³ NAILING	10d COMMON @ 6" O.C.	10d COMMON @ 4" O.C.	10d COMMON @ 3" O.C.	10d COMMON @ 2" O.C.
FIELD NAILING	10d COMMON @ 12" O.C.	10d COMMON @ 12" O.C.	10d COMMON @ 12" O.C.	10d COMMON @ 12" O.C.
ANCHOR ⁵ BOLTS	3/4" @ 32" O.C.	3/4" @ 24" O.C.	3/4" @ 16" O.C.	3/4" @ 16" O.C.
STUDS & BLOCKING	3X	3X	3X	4X
SILL ⁴ NAILING	16d @ 6" O.C.	16d @ 4" O.C.	16d @ 3" O.C.	SIMPSON SDS 1/2" X 4 1/2" @ 4" O.C.
ALLOW DESIGN LOAD ⁶	340	510*	665*	870*

SHEARWALL CONSTRUCTION DETAIL 14

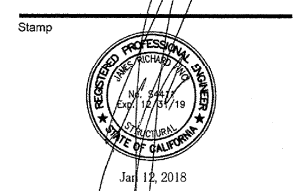


HOLDDOWN DETAIL 15



SHEAR WALL CONSTRUCTION DETAIL 16

V & A
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New Commercial Building For:
Riviera Shopping Center Pad 2
 4724 Telephone Road
 Ventura, Ca

SHEARWALL CONSTRUCTION DETAILS

FOR CONSTRUCTION

Revision	Description	Date
1	PLAN CHECK	1/16/18

Project Number: 17-5387
 Project Engineer: JRV
 Checked By: JRV
 Drawn By: JWB
 Scale: 1/4"=1'-0"
 Date: 10-17-17

Sheet Number
SD3
 Sheet ___ Of ___

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Building For:
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Pad 2
4724 Telephone Road
Ventura, Ca

Sheet Title

**STRUCTURAL
DETAILS**

FOR CONSTRUCTION

Revision Description Date

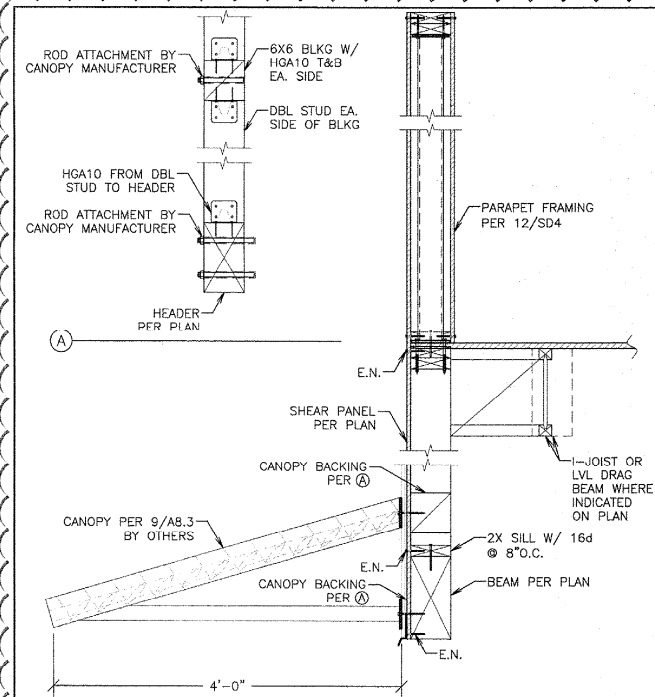
1 PLAN CHECK 1/16/18

- Project Number: 17-5387
- Project Engineer: JRV
- Checked By: JRV
- Drawn By: JWB
- Scale: 1/4"=1'-0"
- Date: 10-17-17

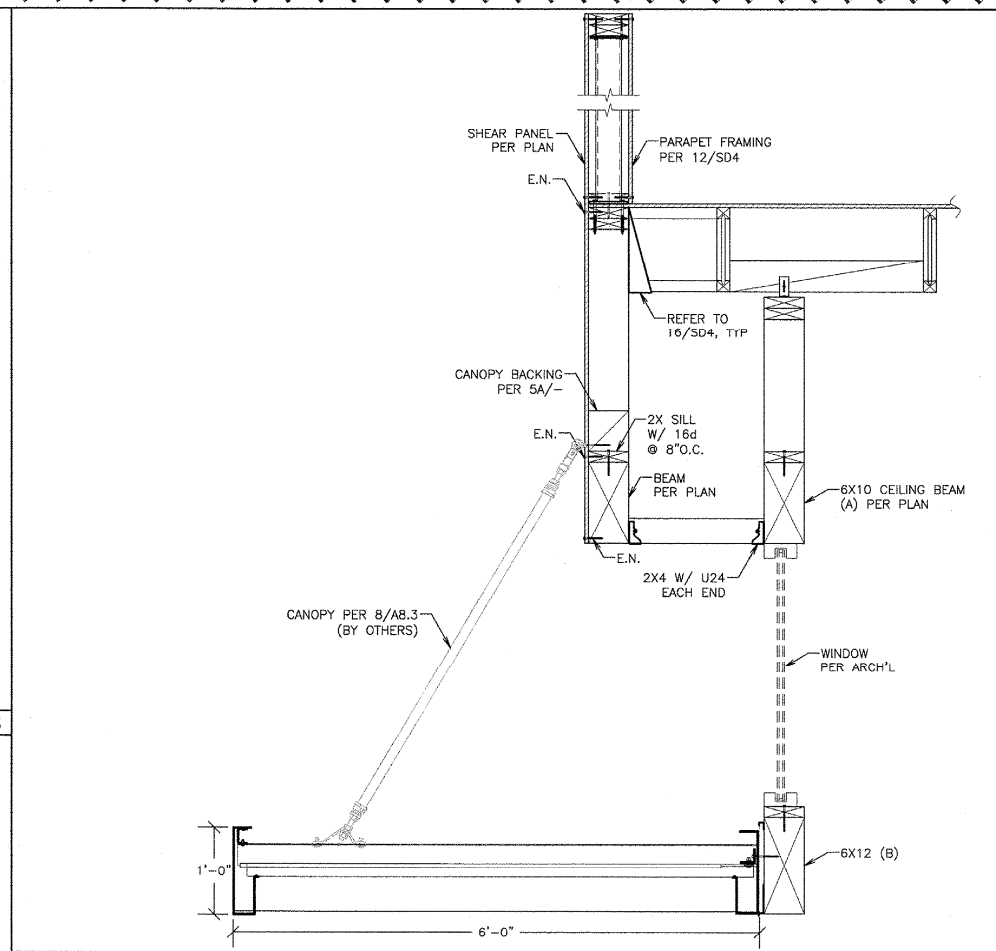
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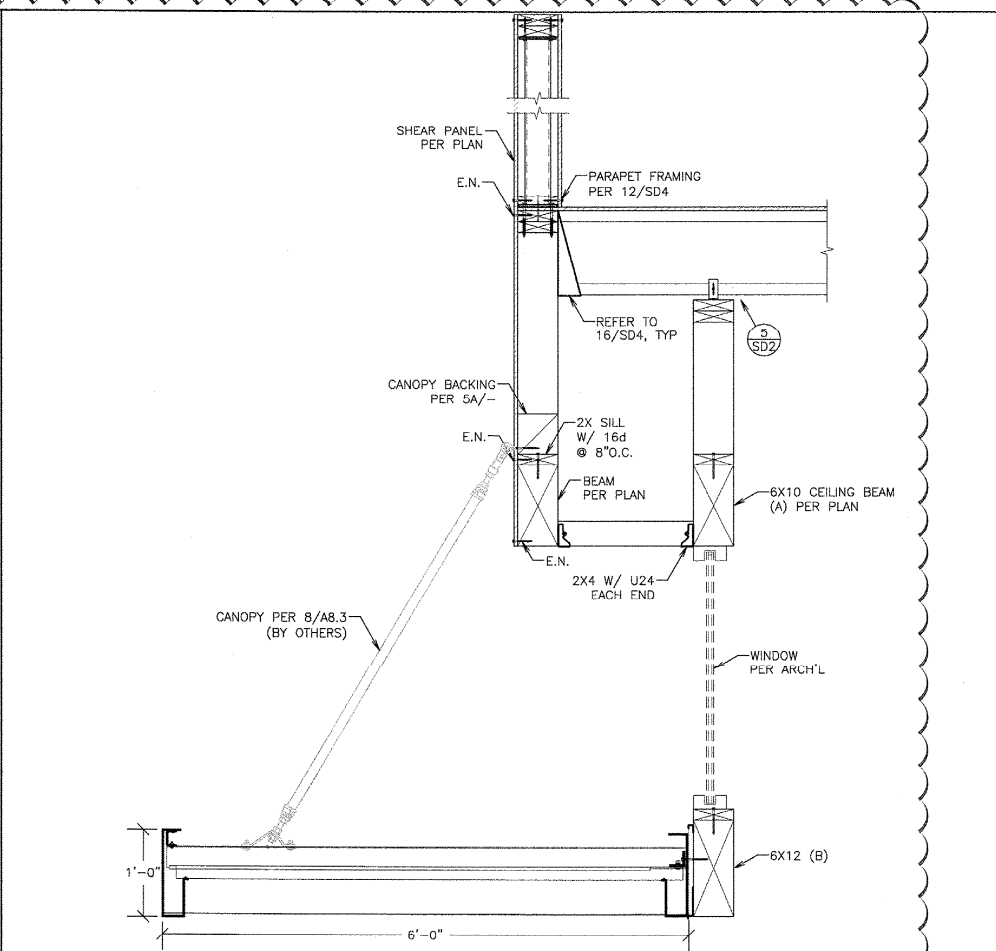
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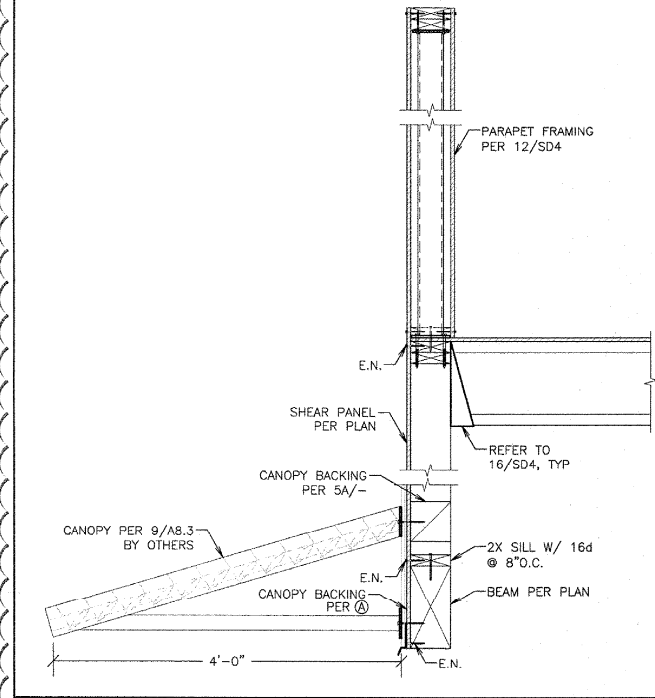
PARAPET DETAIL 5



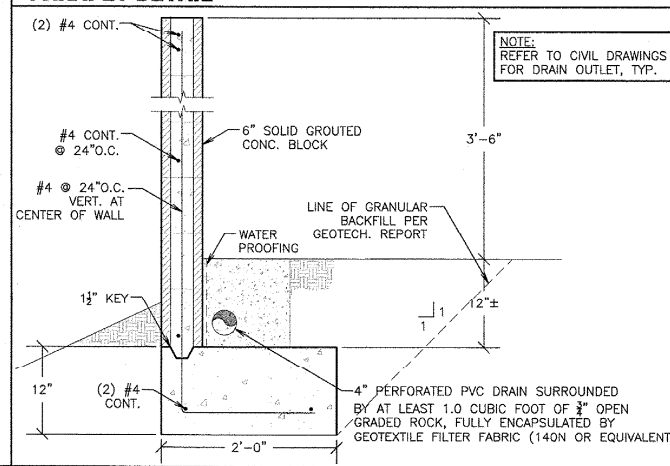
PARAPET DETAIL 6



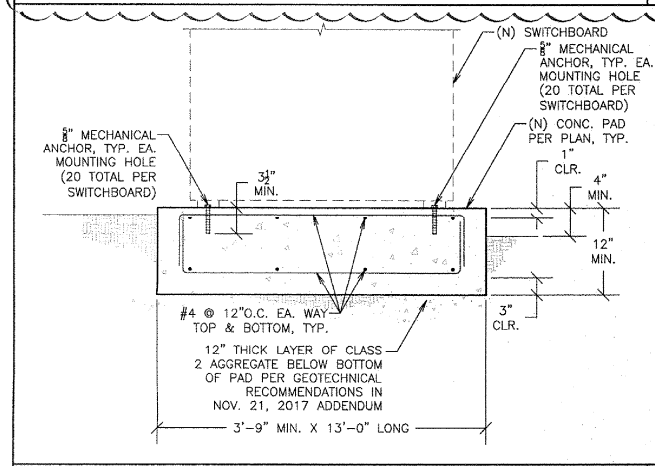
PARAPET DETAIL 8



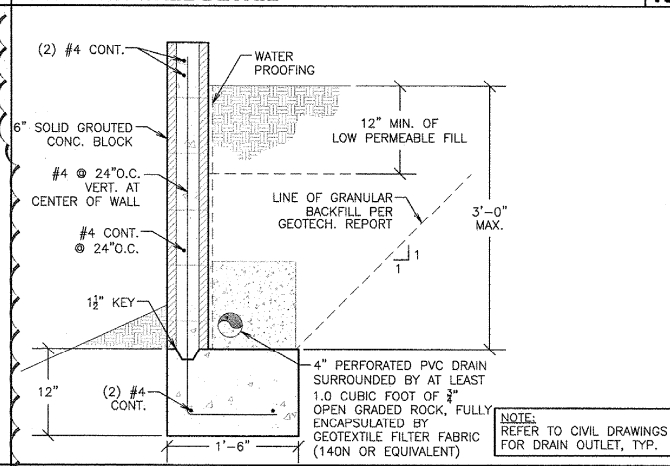
PARAPET DETAIL 9



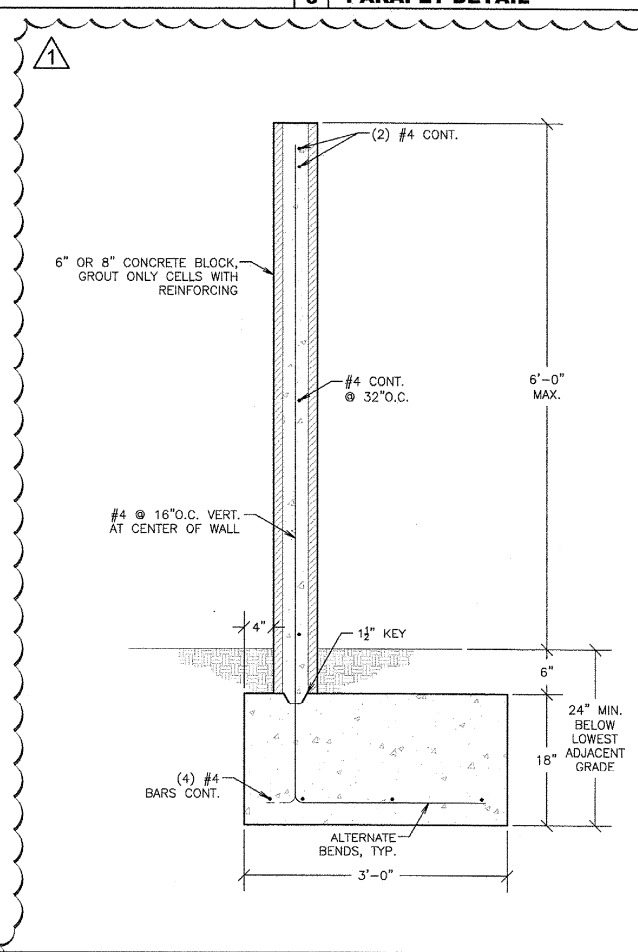
PLANTER WALL DETAIL 10



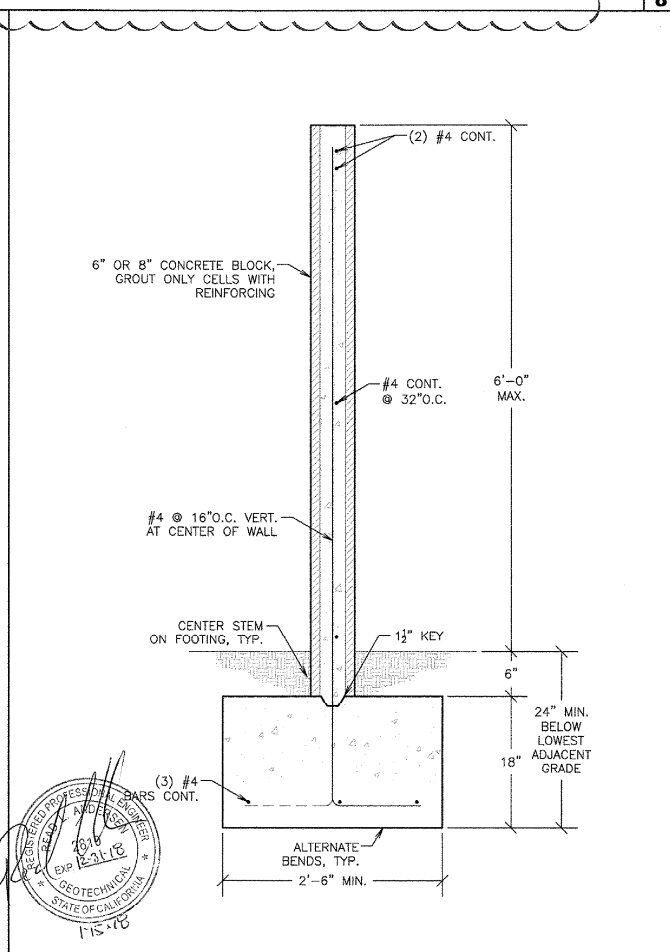
SWITCHBOARD PAD DETAIL 13



PLANTER WALL DETAIL 14



SITE WALL AT PROPERTY LINE 15



SITE WALL DETAIL 16

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